

# COMPLETE EYE CARE

9890 CLAYTON ROAD  
SAINT LOUIS, MISSOURI 63124

## CONSTRUCTION SET

## PROJECT NOTES

### GENERAL NOTES

- ALL INFORMATION SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS AND VERIFYING EXISTING CONDITIONS AND DIMENSIONS FOR ACCURACY AND TO CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN OR PRECEDING WITH RELATED WORK.
- ALL WORK, MATERIALS, AND METHODS SHALL BE IN ACCORDANCE WITH ACCEPTED PROFESSIONAL STANDARDS, APPLICABLE GOVERNING CODES PERTAINING TO THE AMERICANS WITH DISABILITIES ACT (ADA) TITLE III ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES.
- IN THE EVENT OF CONFLICTS, EXPLANATORY NOTES IN THE DRAWINGS TAKE PRECEDENCE OVER GRAPHIC INDICATIONS; LARGE-SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS, AND FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF AND TO THE EXTENT OF ANY INCONSISTENCY, AMBIGUITY, DISCREPANCY, OR ERROR IN THE CONTRACT DOCUMENTS (REFERRED TO AS "DISCREPANCY" COLLECTIVELY IN THIS PARAGRAPH), THE CONTRACTOR SHALL IMMEDIATELY SEEK CLARIFICATION FROM THE ARCHITECT. IN INTERPRETING THE CONTRACT DOCUMENTS, ALL TERMS AND CONDITIONS SHALL BE HARMONIZED AND EFFECTUATED, AND NONE SHALL BE RENDERED SUPERFLUOUS OR MEANINGLESS. IN THE EVENT OF A DISCREPANCY THAT CANNOT BE HARMONIZED, THE INTERPRETATION THAT IMPOSES THE MOST STRINGENT PERFORMANCE OBLIGATION ON THE CONTRACTOR SHALL CONTROL.
- EACH PRIME SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF HIS OWN WORK AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND WORK AND MEASUREMENTS, AND OTHER ITEMS AS MAY BE REQUIRED OF AND FOR HIS WORK. HE SHALL BE RESPONSIBLE FOR VERIFYING ALL FIGURES AND DETAILS SHOWN ON THE DRAWINGS WHICH RELATE TO HIS WORK, PRIOR TO LAYING OUT HIS WORK. HE SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM HIS FAILURE TO TAKE SUCH PRECAUTIONS.
- IT SHALL BE THE RESPONSIBILITY FOR ALL SUB-CONTRACTORS TO HAVE EXAMINED AND REVIEWED THE COMPLETE SET OF WORKING DRAWINGS AND/OR SPECIFICATIONS AND TO PROVIDE ALL LABOR AND MATERIAL FOR THEIR RESPECTIVE AREA OF WORK FOR A COMPLETE AND FINISHED INSTALLATION IN COMPLIANCE WITH THE INTENT OF THE DRAWINGS AND/OR SPECIFICATIONS. WHETHER OR NOT, SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES WHICH ARE APPLICABLE TO THE PROJECT.
- PRODUCTS, SUBMITTALS, EXECUTION AND OTHER PERTINENT INFORMATION ARE TO BE PROVIDED IN THE ACCORDANCE WITH SHEET A0.1.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SUPERVISION AND COORDINATION OF ALL CONSTRUCTION PROCEDURES.
- PRODUCTS, SUBMITTALS, EXECUTION AND OTHER PERTINENT INFORMATION ARE TO BE PROVIDED IN THE ACCORDANCE WITH PRODUCT MANUFACTURERS' SPECIFICATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHED WALLS AND TO THE FACE OF MASONRY WALLS AS SHOWN UNLESS NOTED OTHERWISE.
- ALL FLOOR ELEVATIONS ARE TO CONCRETE SLAB UNLESS NOTED OTHERWISE.
- ALL DISSIMILAR METALS SHALL BE EFFECTUALLY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN.
- DOOR OPENINGS IN FRAMED CONSTRUCTION WHICH ARE NOT DIMENSIONED ARE EITHER CENTERED IN THE WALL OR LOCATED 4" FROM THE FACE OF STUD TO THE FINISHED JAMB ON THE HINGED SIDE.
- ALL SPECIAL ACCESSIBLE FACILITIES SHALL BE IDENTIFIED WITH APPROVED SIGNAGE.
- ALL FLOORS WITH DRAINS ARE SLOPED A MINIMUM OF 1/8" PER FOOT TO DRAIN UNLESS NOTED OTHERWISE.
- LOCATIONS OF EXISTING UTILITIES ARE SHOWN TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR SHALL HAVE THE RESPONSIBILITY OF VERIFYING IN THE FIELD BEFORE CONSTRUCTION STARTS, AND COORDINATING ALL NEW UTILITY LOCATIONS, CONNECTIONS, AND PENETRATIONS.
- ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR THE USE OF A KEY.
- BLOCKING AT OPENINGS, DOORS, WINDOWS AND GRAB BARS, TO BE 2X MATERIALS. AT WALL MOUNTED EQUIPMENT LOCATIONS, USE 1/2" PLYWOOD SHEET MATERIALS. ALTERNATES: MINIMUM OF 1/8" GAUGE X 1/8" MATERIAL TO BE USED WITH METAL FASTENERS (WOOD BLOCKING SHALL BE FIRE TREATED).
- PROVIDE BLOCKING AS REQUIRED & CALLED OUT ON PLANS TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (E.G., CABINETS, TOILET ROOM, ACCESSORIES, HARDWARE, ETC.). BLOCKING SHALL PROVIDE A RIGID CONNECTION CAPABLE OF SUPPORTING LOADS AS DETERMINED BY MANUFACTURER. PROVIDE SOLID BLOCKING SECURED TO 2 MAIN WALL STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER).
- THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS MECHANICAL & ELECTRICAL EQUIPMENT, EQUIPMENT PADS OR BASES, AS WELL AS POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. ANY CONCERNS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN APPROVED MANNER.
- THE COLOR, CHARACTER, AND QUALITY OF ALL MATERIALS ARE TO MATCH ARCHITECT'S SAMPLES.
- ALL FIRE SPRINKLER, ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL BE CONCEALED FROM VIEW EXCEPT WHERE EXPOSED TO STRUCTURE. LOCATE PIPING AND SUPPORTS IN A NEAT AND CONSISTENT MANNER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO FOLLOW DRAWINGS FOR LOCATION OF ELECTRICAL RECEPTACLES OR SWITCHES TO AVOID CASEWORK, DOORS, ETC.
- PROVIDE FINISHED SURFACE UNDER AND BEHIND ALL EQUIPMENT AND CASEWORK. THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER EQUIPMENT.
- CONTRACTOR SHALL COMPLY WITH LOCAL BUILDING CODES IN FIRESTOPPING ALL RATED WALLS AND FLOOR PENETRATIONS.
- SHOULD ANY CONFLICT OCCUR BETWEEN MEP FP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS, ARCHITECTURAL DRAWINGS SHALL SUPERSEDE ALL OTHERS.
- PROVIDE FIRE EXTINGUISHERS IN TYPE, SIZE, QUANTITY AND LOCATIONS AS REQUIRED BY THE BUILDING AND FIRE DEPARTMENTS.
- DETAILS NOT SHOWN ARE SIMILAR TO THOSE DETAILED.
- CONTRACTOR TO PROVIDE ALL LABOR & EQUIPMENT TO PERFORM THE WORK INDICATED ON THESE DRAWINGS. PERMITS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL VISIT THE SITE FOR VERIFICATION OF ALL CONDITIONS THAT MAY AFFECT THE PROJECT, PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE TEMPORARY ON-SITE TOILET FACILITIES DURING ALL CONSTRUCTION PHASES.
- FURNISH ALL ANCHORAGE FOR MILLWORK.
- ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- PATCH AND REPAIR ALL DISTURBED AREAS NECESSARY TO WORK WITH THE PLACEMENT OF NEW WALLS AND SOFFITS AS PER DRAWINGS TO MATCH EXISTING ADJACENT FINISHES U.N.O. NECESSARY TO WORK WITH THE PLACEMENT OF NEW WALLS AND SOFFITS AS PER DRAWINGS.
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL OTHER ITEMS, MATERIALS AND INSTALLATION ARE PART OF THE CONTRACT, AS DEFINED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEFINED OR SPECIFIED.
- CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.
- PROVIDE METAL TRIM OR CASING AT ALL EDGES OF DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL UNLESS NOTED OTHERWISE.
- PROVIDE METAL CORNER BEADS AT ALL OUTSIDE CORNERS OF EXTERIOR CEMENT PLASTER AND DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLISES RAILINGS, MOLDING, FRAMES, CASTING, ETC., SHALL BE PRIMED AND PAINTED UNLESS NOTED OTHERWISE.

- INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL UNLESS OTHERWISE INDICATED) 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
- SECURE ALL PIPING AS CLOSE TO WALLS AS POSSIBLE.
- ALL PENETRATIONS THRU ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL BACKER RODS, ETC. REFER TO SPECS.
- PLUMBING AND ELECTRICAL SYSTEMS. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION AS REQUIRED.
- ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROVIDED WITH APPROVED FIRE ASSEMBLIES.
- ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINTED TO MATCH ADJACENT SURFACES (MIN. 2 COATS OF PAINT).

### SAFETY/EXITING

- CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
- EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORDED "EXIT" IN LETTERS HAVING THE PRINCIPLE STROKE OF NOT LESS THAN 3/4" WIDE AND AT LEAST 6" HIGH AND SHALL CONFORM TO CODES AND/OR APPLICABLE REGULATIONS.
- ALL FIRE-RATED ASSEMBLIES SHALL BE DETERMINED, AND SHALL BE LABELED AND INSPECTED, IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2006.
- ALL FLOORS IN PUBLIC AREAS SHALL BE OF NON-SLIP TACTILE SURFACE IN COMPLIANCE WITH HEALTH AND SAFETY CODES OF THE PREVAILING MUNICIPAL CODE.
- FIRE DAMPERS OR FIRE DOORS SHALL BE PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE RATED SURFACES.
- SIZE, TYPE, QUANTITY AND LOCATION OF BOTH TEMPORARY AND PERMANENT FIRE EXTINGUISHERS.
- ALL LEGAL EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." THIS SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE, MANUALLY OPERATED, FUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
- EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2' BELOW THE THRESHOLD.
- PROVIDE EMERGENCY VEHICLE ACCESS PER CITY FIRE DEPARTMENT REQUIREMENTS.

### ADA NOTES

- ALL PUBLICLY AND PRIVATELY FUNDED PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.

### ENTRANCES AND EXITS

- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- EXIT DOORS AND BARS, GRILLES, GRATES, OR SIMILAR DEVICES PLACED OVER EXIT DOORS, SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT LABELER. THE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE, LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN PRESSURE DIRECTIONS.
- HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR.
- EVERY DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'8" IN HEIGHT. WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32", MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE SIDE.
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- WHEN AN AUTOMATIC DOOR OPERATOR IS USED TO OPERATE A PAIR OF DOORS, AT LEAST UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITION AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLAN OF THE DOOR IN THE CLOSED POSITION.
- THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24" PAST THE STRIKE EDGE FOR EXTERIOR DOORS AND A MINIMUM OF 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.

### CORRIDORS AND AISLES

- EVERY CORRIDOR SERVING AN OCCUPANT LOAD OR 10 OR MORE SHALL NOT BE LESS THAN 44" IN WIDTH.

### FLOORS AND LEVELS

- CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE ACCOMPANIED BY MEANS OF A RAMP NO STEEPER THAN 1" VERTICAL TO 2 HORIZONTAL.

### SPACE ALLOWANCE AND REACH RANGES

- IF THE CLEAR FLOOR ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15". IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR.

### NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED

- IF EMERGENCY WARNING SYSTEMS ARE REQUIRED, THEY SHALL ACTIVATE A MEANS OF WARNING FOR THE HEARING IMPAIRED.

### SIGNS AND IDENTIFICATION

- IF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15990 IN FEDERAL STANDARD 595B SEC. 1117B.5.12.
- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3/5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10 SEC 1117B.5.3.

## PROJECT DIRECTORY

### OWNER

NEWCASTLE INDUSTRIES, INC.  
9904 CLAYTON ROAD, SUITE B  
ST. LOUIS, MISSOURI 63124  
PHONE: 314.991.9850  
FAX: 314.994.3450

### TENANT

COMPLETE EYE CARE  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124

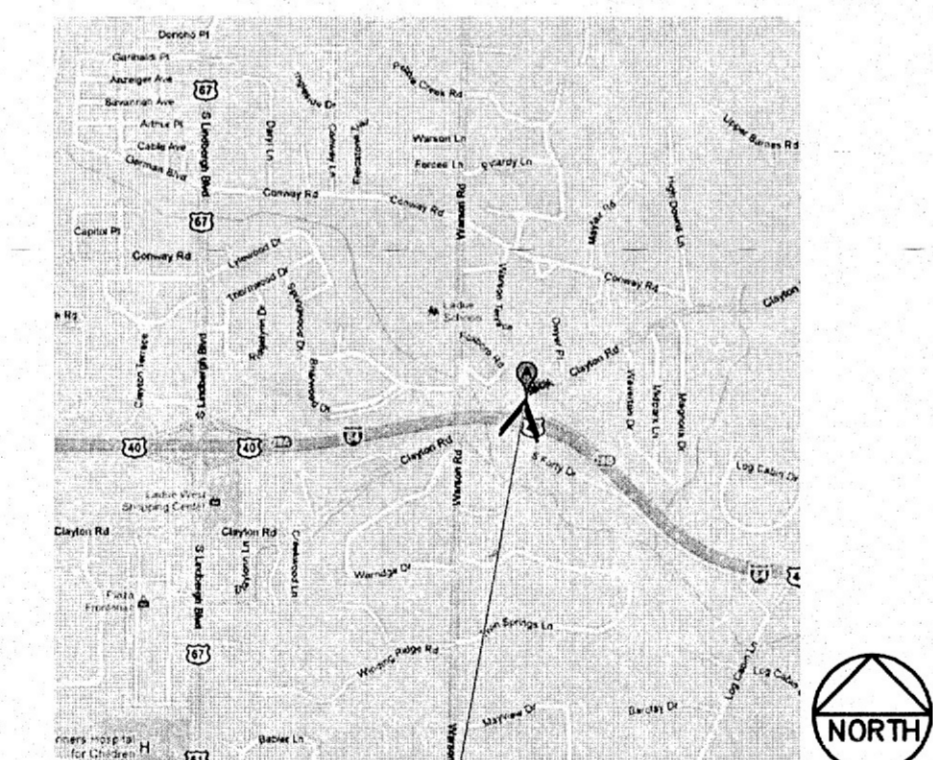
### ARCHITECT

SP ARCHITECTS  
1115 OLIVETTE EXECUTIVE PKWY.  
SUITE 100  
ST. LOUIS, MO 63132  
PHONE: (314) 872-9700  
FAX: (314) 872-7726

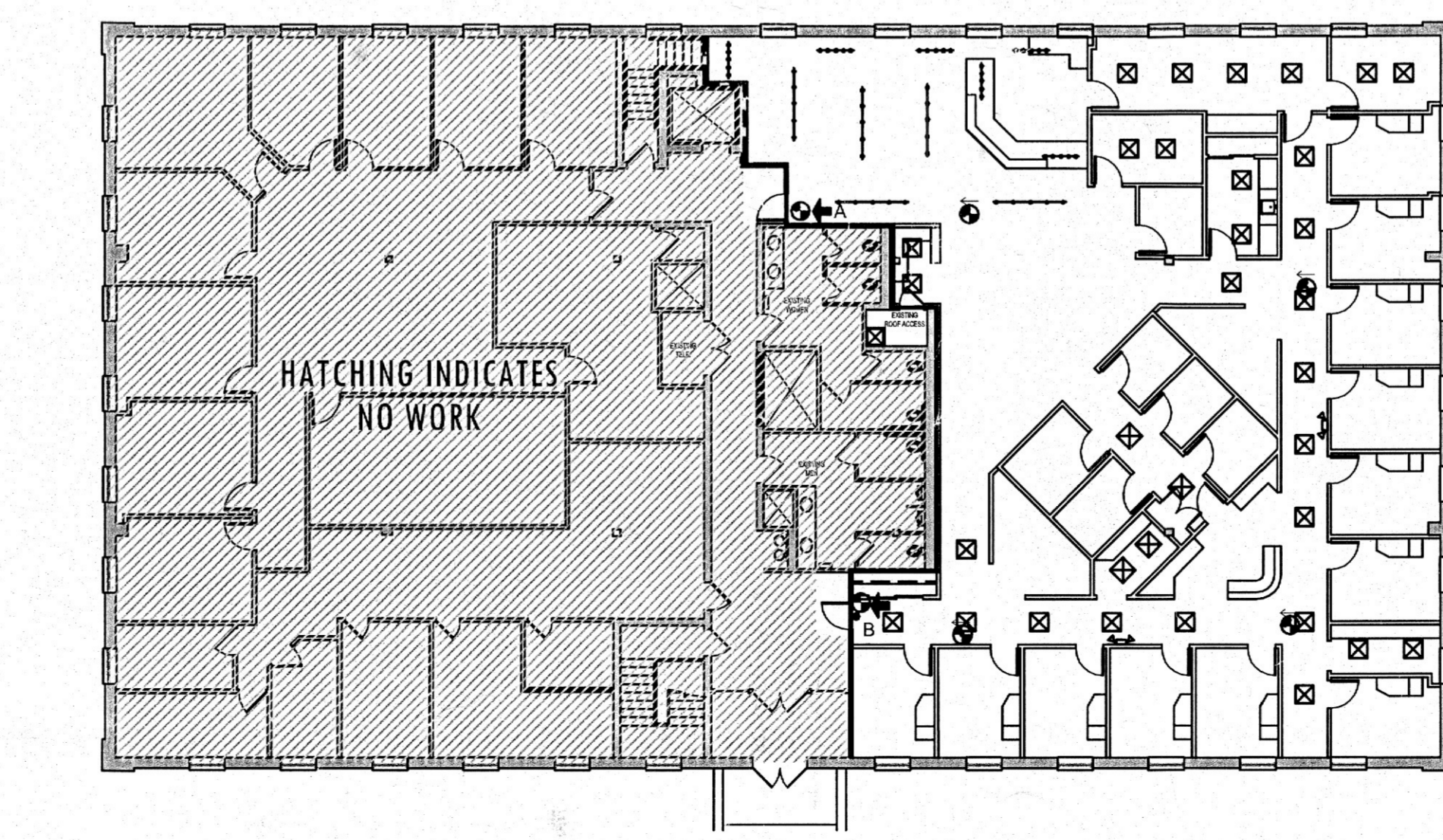
## ABBREVIATIONS

ADJ.	ADJACENT	LAM.	LAMINATE
A.F.F.	ABOVE FINISH FLOOR	M.O.	MASONRY OPENING
ALT.	ALTERNATE	MACH.	MACHINE
ALUM	ALUMINUM	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MECH.	PLUMBING
ARCH.	ARCHITECT	MIN. or MN.	MINIMUM
BD.	BOARD	MISC.	MISCELLANEOUS
BLOG.	BUILDING	MNT.	MOUNT, or MOUNTED
C.A.	CLEAR ANODIZED	MTL.	METAL
CEM.	CEMENT	N.I.C.	NOT IN CONTRACT
CER.	CERAMIC	NO.	NUMBER
C.G.	CORNER GUARD	NOM.	NOMINAL
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	OD.	OUTSIDE DIAMETER
COL.	COLUMN	O.F.C.I.	OWNER FURN. CONTR. INST.
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	O.R.D.	OVERFLOW ROOF DRAIN
CORR.	CORRIDOR	P.L. or PLAM	PLASTIC LAMINATE
C.T.	CERAMIC TILE	PLYWOOD	PLYWOOD
DET.	DETAIL	PNT.	PAINT
DIAM.	DIAMETER	P.T.	PRESSURE TREATED
DN.	DOWN	Q.T.	QUARRY TILE
D.S.	DOWNSPOUT	RAD.	RADIUS
DWG.	DRAWING	R.D.L.	ROOF DRAIN LEADER
EA.	EACH	REINF.	REINFORCEMENT
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	REQD.	REQUIRED
E.J.	EXPANSION JOINT	RES.	RESILIENT
ELEC.	ELECTRICITY	RM.	ROOM
ELEV.	ELEVATOR	R.O.	ROUGH OPENING
E.O.S.	EDGE OF SLAB	S.C.	SOLID CORE
EQ.	EQUAL	S.F.	SQUARE FEET
EXIST.	EXISTING	SHT.	SHEET
EXP.	EXPANSION	SIM.	SIMILAR
EXT.	EXTERIOR	ST.	STAIN
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STG.	STAGGER TOP AND BOTTOM
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.H.C.	FIRE HOSE CABINET	STOR.	STORAGE
FIN.	FINISH	STRUCT.	STRUCTURE
FL.	FLOOR	SUSP.	SUSPENDED
F.O.B.	FACE OF BRICK	SYNTH.	SYNTHETIC
F.O.S.	FACE OF STUD	T.O.S.	TOP OF STEEL
F.R.P.	FIBERGLASS REINFORCED PANEL	TEL.	TELEPHONE
F.R.T.	FIRE RETARDANT TREATED FLOOR SINK	THK.	THICKNESS
F.S.	FLOOR	TYP.	TYPICAL
GALV.	GALVANIZED	U.O.N. or U.N.O.	UNLESS OTHERWISE NOTED
GWB.	GYPSON WALL BOARD	UTIL.	UTILITY
GYP.	GYPSON	V.C.T.	VINYL COMPOSITION TILE
HGT.	HEIGHT	VERT.	VERTICAL
HORIZ.	HORIZONTAL	V.V.C.	VINYL WALL COVERING
HR.	HOUR	WC.	WATER CLOSET
ID.	INSIDE DIAMETER	WD.	WOOD
INSUL.	INSULATION	W.P.	WATER PROOFING
JST.	JOIST	WT.	WEIGHT
JT.	JOINT	W.W.F.	WELDED WIRE FABRIC
		W/	WITH
		W/O	WITHOUT

## VICINITY MAP



9890 CLAYTON ROAD



UPPER LEVEL EGRESS PLAN

1/16" = 1'-0"

LEGEND	
—	1-HOUR RATED WALL
---	2-HOUR RATED WALL
○	CEILING MOUNTED EXIT SIGNAGE

## SHEET INDEX

SHT. NO.	SHT. TITLE	DATE:	ISSUE	11.18.11	rev #1	11.23.11
<b>ARCHITECTURAL</b>						
A0.0	TITLE PAGE		●	●		
A0.1	SPECIFICATIONS		●	●		
A1.1	DEMO PLAN		●	●		
A2.1	FLOOR PLAN		●	●		
A3.1	RCP PLAN		●	●		
A4.1	PARTITION TYPES & DOOR SCHED		●	●		
A9.1	FINISH SCHEDULE		●	●		
A9.2	ELEVATIONS		●	●		

## BUILDING INFORMATION

### ADDRESS:

9890 CLAYTON ROAD  
ST. LOUIS, MISSOURI 63124

### GOVERNING CODES:

2006 INTERNATIONAL BUILDING CODE

GOVERNING BODY: CITY OF LADUE

### USE / OCCUPANCY:

B - BUSINESS

### FIRE RESISTANCE RATING REQUIREMENTS:

TABLE 601		
EXTERIOR NON-LOAD BEARING		0' HOUR
EXTERIOR LOAD BEARING		0' HOUR
INTERIOR NON-LOAD BEARING		0' HOUR
INTERIOR LOAD BEARING		0' HOUR
TABLE 1017.1		
REQUIRE CORRIDORS		1' HOUR

### CONSTRUCTION:

TYPE 28 - UNPROTECTED

### FIRE PROTECTION:

NON - SPRINKLERED

### TRAVEL DISTANCE:

TABLE 1016.1		
MAXIMUM TRAVEL DISTANCE 200'		
SECTION: 1017.3		
DEAD END CORRIDORS 20'		

### BUILDING SQUARE FOOTAGE

B - BUSINESS - OFFICE 9,036 S.F.

### USE / OCCUPANCY:

PROPOSED USE B OFFICE (SECTION 304)

### BUILDING:

2 STORY

### FLOOR AREA

PER TABLE 503 TYPE II B		
ALLOWABLE	23,000 sf	
ACTUAL	9,036 sf	

### BUILDING HEIGHT

PER TABLE 503 TYPE II B		
ALLOWABLE - FOUR STORIES		
ACTUAL - TWO STORY		

## OCCUPANT LOAD AND EXITING CALCULATIONS

REQUIREMENTS		
UPPER FLOOR SUITE 200	S.F.	OCCUPANTS
B - BUSINESS-OFFICE	5,115 S.F.	62
EXITING PROVIDED PER TBL.1005.1		
DOOR A	1 @ 34" = 34"	
DOOR B	1 @ 34" = 34"	
WIDTH REQUIRED	52 X .2 = 10.4"	
WIDTH PROVIDED	68"	
EXITS REQUIRED	= 2	
EXITS PROVIDED	= 2	



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New Office Space for:  
**COMPLETE EYE CARE**  
 9890 CLAYTON ROAD  
 ST. LOUIS, MO 63124

## REVISION DATES

Revision # 1 11-23-2011

## CONSTRUCTION DOCUMENTS

## COVER SHEET

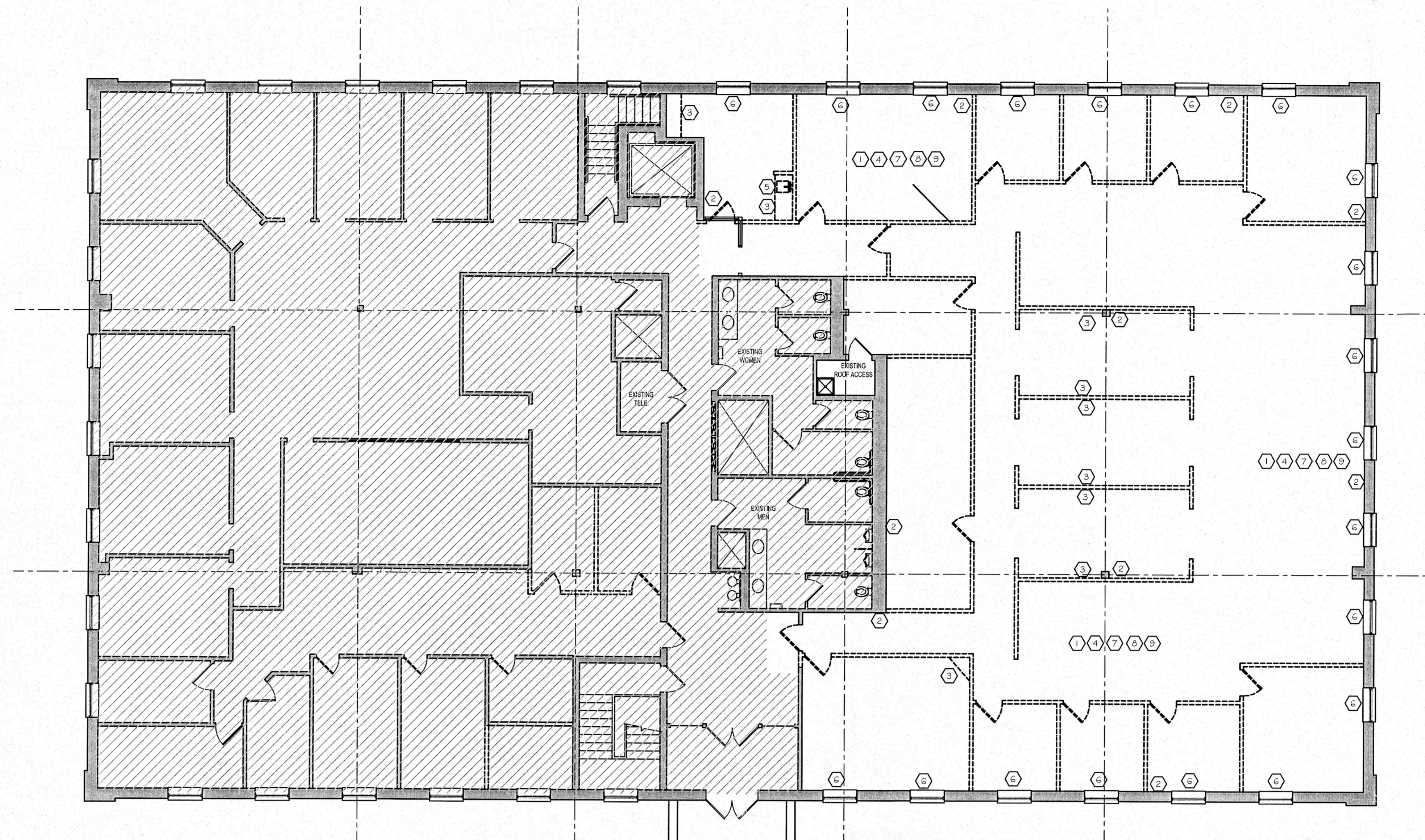
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**1 FIRST FLOOR DEMO PLAN**  
1/8" = 1'-0"



**KEYED DEMOLITION NOTES**

- 1 DEMO / REMOVE (E) WALLS SHOWN DASHED
- 2 WALLS TO REMAIN SHALL BE PATCHED AND REPAIRED TO RECEIVE NEW FINISHES.
- 3 DEMO / REMOVE (E) CASEWORK
- 4 DEMO / REMOVE (E) FLOORING, WALL & BASE; PREP SUB FLOOR TO RECEIVE (N) FINISH - TYP. ENTIRE SPACE
- 5 DEMO / REMOVE EXISTING SINK
- 6 DEMO / REMOVE (E) WINDOW SILLS, PREP OPENING FOR NEW AND REPAIR ADJACENT WALLS FOR NEW FINISHES. DEMO / REMOVE (E) BLINDS, (E) WINDOW TO REMAIN CLEAN AND PREP FOR NEW FINISHES.
- 7 DEMO / REMOVE (E) CEILING GRID AND TILES - TYP. ENTIRE SPACE
- 8 DEMO / REMOVE (E) DOORS AND FRAMES SHOWN DASHED
- 9 COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION WITH THE DESIGN BUILD MEP DRAWINGS.

**GENERAL DEMOLITION NOTES**

- EXISTING TO BE DEMOLISHED IS SHOWN DASHED
- ▨ EXISTING AREAS WITH NO WORK SHOWN HATCHED
- ===== ALL EXISTING WALLS TO REMAIN SHOWN SHADED

**SCOPE**

- A. FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE THIS WORK AS INDICATED ON THE DRAWINGS AS SPECIFIED AND AS NECESSARY TO COMPLETE THE CONTRACT INCLUDING BUT NOT LIMITED TO THESE MAJOR ITEMS.
  1. PROTECTION OF EXISTING WORK TO REMAIN
  2. REMOVAL OF PARTITIONS, DOORS, FLOOR COVERINGS AND CEILINGS
- B. RELATED WORK
  1. TEMPORARY FACILITIES
  2. ALL NEW WORK
- C. WORK NOT IN CONTRACT
  1. ENCAPSULATION, REMOVAL AND DISPOSAL OF ASBESTOS, TOXIC SUBSTANCES, OR OTHER HAZARDOUS MATERIALS IF ENCOUNTERED
  2. COORDINATE AND VERIFY EXTENT OF ALL DEMOLITION WITH NEW ARCHITECTURAL PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 2. QUALITY ASSURANCE
  - A. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF WORK OF THIS SECTION
  - B. USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY AND NUMBERS TO ACCOMPLISH THE WORK IN A TIMELY MANNER
- 3. APPLICABLE REFERENCE STANDARDS
  - A. SAFETY REQUIREMENTS FOR DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A10.6)
  4. GENERAL REQUIREMENTS, EXISTING CONDITIONS
    - A. FIELD CONDITIONS- TAKE INTO CONSIDERATION AS NECESSARY- WORK ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS ON THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED. ACCEPT THE SITE OF THE WORK AS IT EXISTS AND CLEAR OBSTRUCTIONS TO THE WORK INDICATED.

- B. ALL CONTRACTORS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREABOUTS. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THESE DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSIDERED AS INCLUDING WHATEVER SUMS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED AND ATTAIN THE COMPLETED CONDITIONS CONTEMPLATED BY THE CONTRACTOR.
- C. CODES- PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODE OF THE GOVERNING BODY HAVING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY ORDERS AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- E. UNFORESEEN CONDITIONS- INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND NECESSARY AS A RESULT OF UNFORESEEN CONDITIONS AND THE REWORKING OF ADJUTING PATCHING SURFACES TO REMAIN. NO EXTRA PAYMENTS BASED ON THE FEE OF UNFORESEEN CONDITIONS WILL BE ALLOWED.
- F. NOISE CONTROL- CARRY ON ALL WORK IN A MANNER WHICH WILL PRODUCE THE LEAST AMOUNT OF NOISE. INSTRUCT ALL WORKERS IN NOISE CONTROL PROCEDURES.
- 5. EXECUTION
  - A. PROTECTIONS
    1. GLASS- PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE AT NO ADDITIONAL COST. REPLACE IN KIND ALL BROKEN GLASS
    2. LOWERING MATERIAL- PROVIDE HOISTS AND CHUTES AS REQUIRED TO LOWER MATERIAL, THROWING, DROPPING OR PERMITTED FREE FALL OF MATERIAL AND DEBRIS IS NOT ALLOWED.

- 3. PROTECTION OF PERSONNEL- ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUIRED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INQUIRY
- 4. EXISTING WORK TO REMAIN- PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT.
- 5. ERECT AND MAINTAIN DUST PROOF PARTITIONS AND CLOSURES AS REQUIRED TO PREVENT THE SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING
- B. GENERAL
  1. DOORS AND HARDWARE- REMOVE AND DISPOSE OF NOTED DOORS AND FRAMES, RE: DOOR SCHEDULE
  2. PARTITIONS- REMOVE PARTITIONS, FINISH, STUDS AND TOP AND BOTTOM PLATES WHERE ONLY A PARTIAL RUN IS REMOVED CUT BACK FINISH MATERIAL TO THE CENTER OF THE NEXT ADJACENT SUPPORT TO REMAIN. LEAVE REMAINING MATERIAL WITH A CLEAN TERMINAL LINE WITH NO LOOSE MATERIAL ADHERING. REMOVE ALL SHOTPIPS AT FLOOR.
  3. PATCH AND LEVEL FLOOR TO ACCEPT NEW FLOORING MATERIALS.
  4. COORDINATE EQUIPMENT DEMO WITH DESIGN BUILD ENGINEERING DOCUMENTS
  5. REMOVE ALL WALL BASE FROM EXISTING WALLS TO REMAIN
  6. REMOVE ALL LIGHT FIXTURES, CLG. FANS, ELECTRICAL WIRING CONDUIT AND EXTRANEIOUS ITEMS FROM EXPOSED STRUCTURE
  7. REMOVE ALL EXISTING AUDIO AND VIDEO EQUIPMENT
  8. CLEAN AND PREP EXISTING DOORS AND FRAMES TO REMAIN FOR NEW FINISH
  9. PATCH ALL FLOORS, WALLS, SOFFITS, ETC. (WHATEVER NOTED ELSEWHERE OR NOT) WHERE AFFECTED BY DEMOLITION AND OR CONSTRUCTION OR WHERE DAMAGE WAS CAUSED DURING CONSTRUCTION (PREP TO RECEIVE NEW FINISHER)

- C. MECHANICAL, ELECTRICAL AND PLUMBING
  1. REVIEW WITH OWNER AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN.
  2. REMOVE FIXTURES AND EQUIPMENT AS INDICATED WHEN INDICATED FOR REUSE CLEAN STORE AS DIRECTED AND PROTECT IDENTIFY POINT OF REUSE.
  3. REMOVE LINES COMPLETELY WHEREVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER BEHIND THE BACK OF FINISH MATERIAL OR UNDER SLAB.
  4. REMOVE ALL EXISTING LIGHTING FIXTURES, SPEAKERS AND CONDUIT UNLESS OTHERWISE NOTED THROUGHOUT DEMOLITION SCOPE OF WORK AREA, REFER TO DESIGN BUILD ELECTRICAL, MECHANICAL, AND PLUMBING DWGS.
  5. REFER TO DESIGN BUILD MECHANICAL, ELECTRICAL, AND PLUMBING FOR UTILITY DISCONNECTS AND BY-PASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICES OF OCCUPIED SPACES
  6. WHERE WALLS ARE TO BE REMOVED, REMOVE ALL EXISTING ELECTRICAL WIRING, CONDUIT, WIRE MOLD, RECEPTACLES AND SWITCH BOXES, ETC. WIRES SHALL BE PULLED OUT OF CONDUIT BACK TO THEIR SOURCE
  7. WHERE WALLS ARE TO BE REMOVED, REMOVE ALL EXISTING THERMOSTATS, MOTION SENSORS, AND SMOKE DETECTORS.
- D. REMOVED MATERIAL AND DEBRIS
  1. ALL REMOVED MATERIAL NOT OTHERWISE DESIGNATED AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE
  2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER
  3. LEAVE ALL SPACES BROOM CLEAN WITH ALL LEDGES AND CORNERS PROPERLY CLEANED
- E. FLOOR FINISHES- REMOVE ALL EXISTING FLOOR FINISHES
- 6. SALVAGE CONDITIONS
  - A. SALVAGE ALL EXISTING ITEMS AS SHOWN, DEMO / REMOVED. INCLUDED BUT NOT LIMITED TO LIGHT FIXTURES, DOOR FRAMES, CEILING TILE/ GRID, PLUMBING FIXTURES, MECHANICAL LOUVERS AND GRILLS, SPEAKERS, CASEWORK, EXIT SIGNS, WINDOW COVERINGS, FIRE EXTINGUISHER, AND MISC. FIRE PROTECTION ITEMS. STORE AND PROTECT AS REQUIRED. COORDINATE METHOD AND OR DISPOSAL WITH BUILDING OWNER

New Office Space for:  
**COMPLETE EYE CARE**  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124

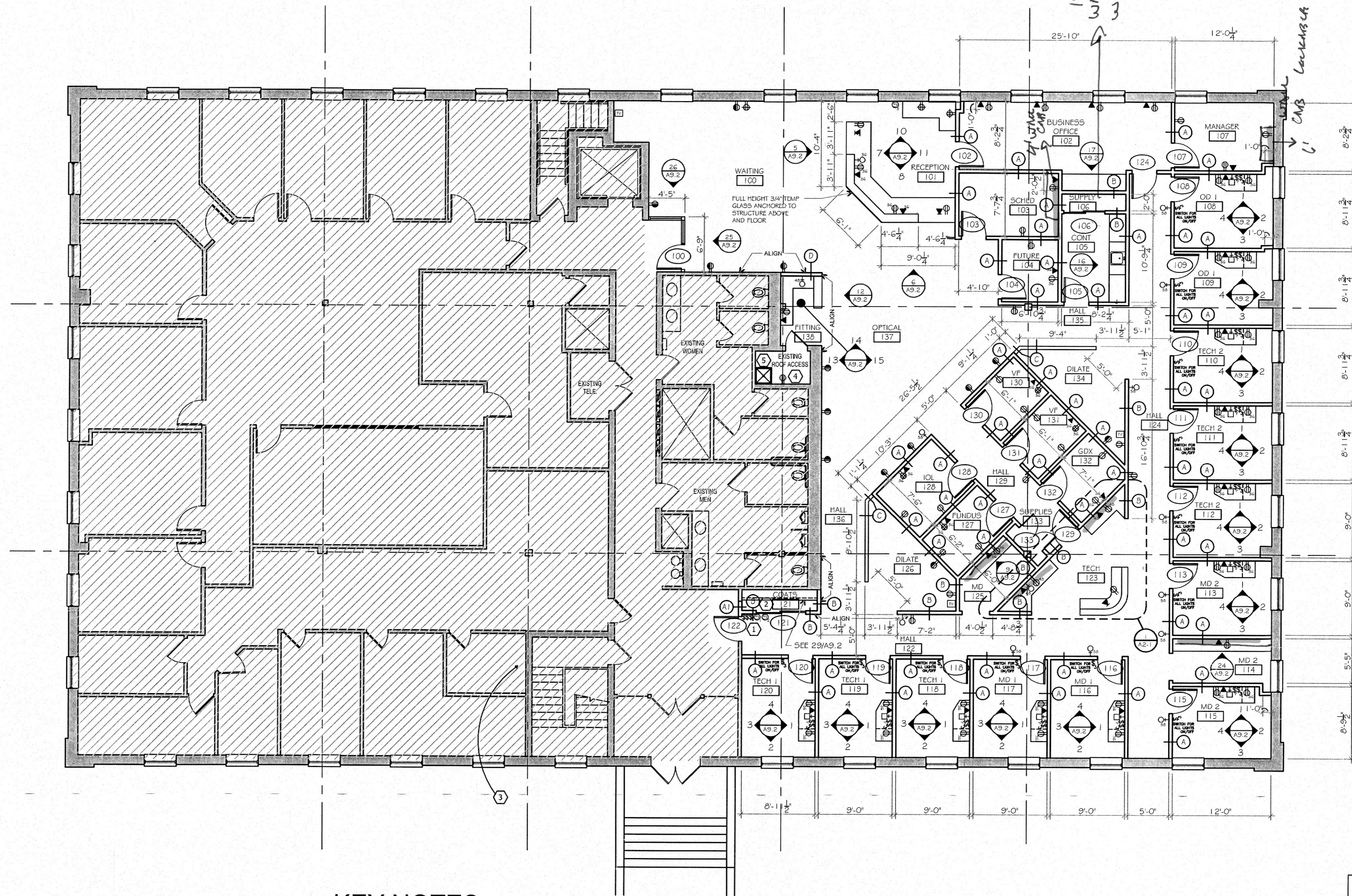
**REVISION DATES**

Revision # 1	11-23-2011

**CONSTRUCTION DOCUMENTS**

**DEMO PLAN**

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**GENERAL NOTES**

1. ALL WALL PARTITIONS TO BE U.N.O.
2. ALL MECHANICAL, ELECTRICAL, AND PLUMBING REQUIRED FOR THIS PROJECT TO BE BY THE DESIGN BUILD ENGINEERS.
3. ALL DOORS ARE TO BE REUSED FROM EXISTING STOCK, EXCEPT WHERE NOTED ON SHEET A4.1. DOORS TO BE TOUCHED UP AS REQUIRED.
4. ALL DOORS TO BE SET 4" FROM PERPENDICULAR WALL U.N.O.
5. ALL DUPLEX OUTLETS TO BE A 6" OFFSET WHEN INSTALL IN BACK TO BACK SITUATION.
6. DESIGN BUILD ELECTRICAL ENGINEERS TO FIELD VERIFY EXISTING CIRCUITS AND EXISTING OUTLETS.
7. FINAL LOCATION OF ALL DATA, ELECTRICAL AND VOICE TO BE REVIEWED WITH THE OWNER PRIOR TO INSTALLATION.
8. ALL ANGLED WALLS 45 DEGREE U.N.O.
9. PROVIDE 3-WAY SWITCHES AT ALL ROOMS / SUITES THAT HAVE TWO ENTRY / EXIT POINTS
10. PROVIDE ONE DOUBLE COAT HOOK IN PHYSICIAN OFFICES, ROOMS. COORDINATE EXACT LOCATIONS AND HEIGHTS WITH OWNER.
11. PROVIDE BLOCKING FOR ALL WALL MOUNTED ACCESSORIES AND EQUIPMENT. COORDINATE EXACT LOCATIONS AND HEIGHTS WITH OWNER.

**KEY NOTES**

1. LOCATION FOR GENERAL LIGHTING SWITCHES  
- HALLWAY 124, 122, 136, 135 + 129 FIXTURES  
- WAITING 100 + RECEIPT AREA 101 FIXTURES AND WALL OUTLETS  
- OPTICAL ROOM # 137 OUTLETS  
- FITTING ROOM # 130 + TECH AREA # 23
2. LOCATION FOR AUDIO EQUIPMENT
3. LOCATION FOR ALL COMMUNICATION CABLEING HOMERUNS
4. PROVIDE 4x4 5/8" PLYWOOD FOR THE HEALTH CARE SEQUENCING CONTROL PANEL
5. EXISTING MOB SINK TO REMAIN

NOTE:  
PROVIDE SEPERATE SWITCHES FOR FLUORESCENT FIXTURES AND RECESSED CAN FIXTURES.

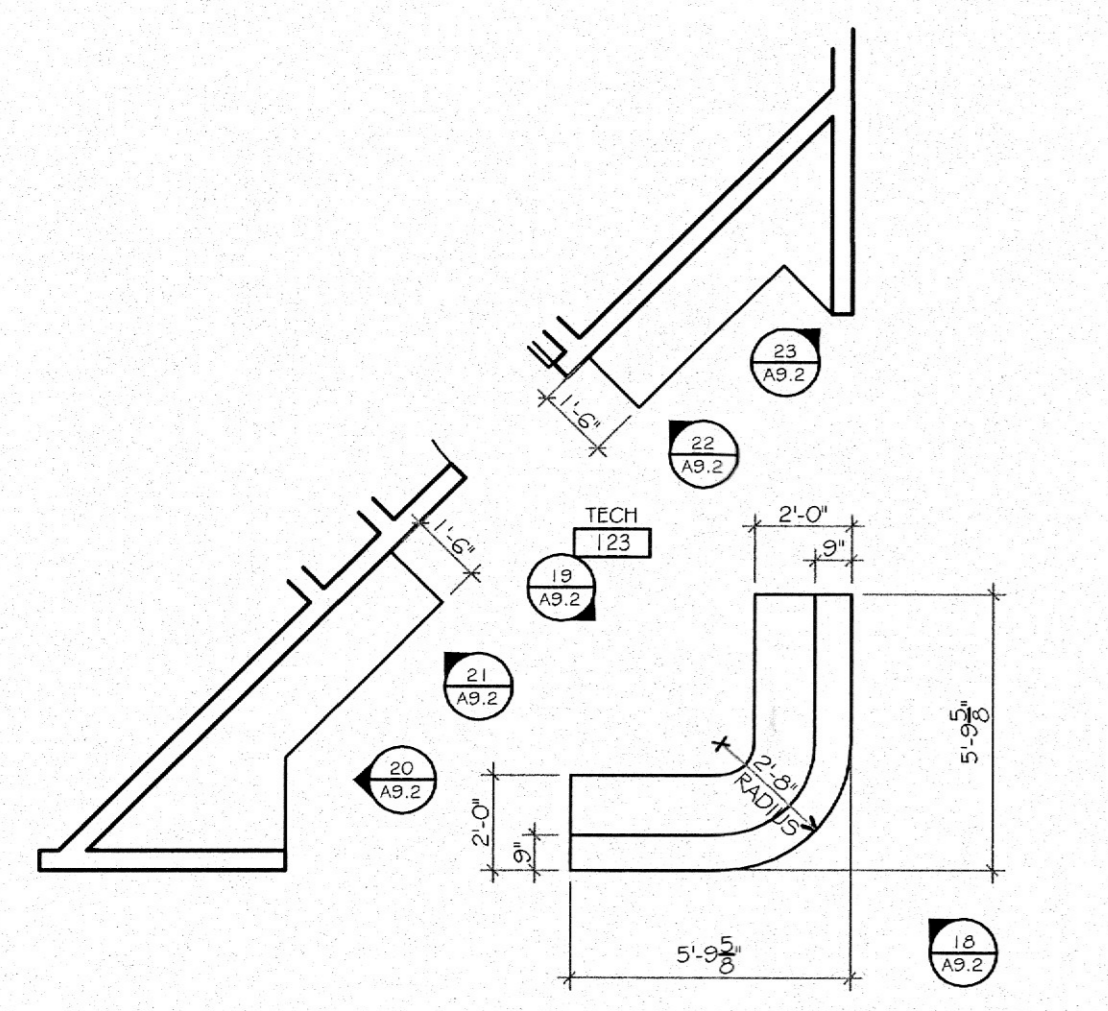
**FIRST FLOOR PLAN**  
1/8" = 1'-0"



**PLAN LEGEND**

- WALLS (SEE PARTITION TYPES)
- EXISTING WALLS TO REMAIN, PROTECT IN PLACE
- EXISTING AREA WITH NO WORK
- TV WALL T.V. PROVIDE DATA + POWER, VERIFY HEIGHT W/ TENANT
- DUPLEX OUTLET HEIGHT ABOVE FINISHED FLOOR
- SWITCHED DUPLEX
- QUADPLEX HEIGHT ABOVE FINISHED FLOOR
- ROOM SEQUENCING SYSTEM (55 SERIES ROUGH-IN, DOUBLE GANG) HEIGHT ABOVE FINISHED FLOOR (LOCATE 6" FROM DOOR FRAME)
- ROOM SEQUENCING SYSTEM (33 SERIES ROUGH-IN) HEIGHT ABOVE FINISHED FLOOR
- SWITCH - 3 WAY
- SWITCH - FIXATION
- COMMUNICATIONS 18" A.F.F. (U.N.O.)
- AUDIO SYSTEM ZONE 1 VOLUME CONTROL SWITCH ZONE ONE (ROOM # 137, 124 + 122)
- AUDIO SYSTEM ZONE 2 VOLUME CONTROL SWITCH ZONE 2 (ROOM # 126 + 134)
- AUDIO SYSTEM ZONE 3 VOLUME CONTROL SWITCH ZONE 3 (ROOM # 100 + 101)

NOTE:  
CONTRACTOR TO ROUGH-IN HEALTH CARE SEQUENCING SYSTEM.  
CONTRACTOR WILL BE GIVEN A PRE-WIRE PACKAGE CONSISTING OF ALL WIRE + 33 SERIES ROUGH-IN BOXES.  
CONTRACTOR WILL SUPPLY ALL 55 SERIES DOUBLE GANG ROUGH-IN BOXES AND LABOR TO ROUGH-IN AND PRE WIRE THE SYSTEM.



**1 PATIAL ENLARGED PLAN**  
1/4" = 1'-0"



New Office Space for:  
**COMPLETE EYE CARE**  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124

**REVISION DATES**

Revision # 1	11-23-2011

**CONSTRUCTION DOCUMENTS**

**FLOOR PLAN**

The seal(s) and signature(s) apply only to the document to which they are affixed and do not expressly disclaim any responsibility for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the project.

New Office Space for:  
**COMPLETE EYE CARE**  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124  
**SUITE 210**

REVISION DATE  
Added Sheet A2-2 11-29-2011

CONSTRUCTION DOCUMENTS

SUITE 210

Issue date: 11.18.2011 sp # 110

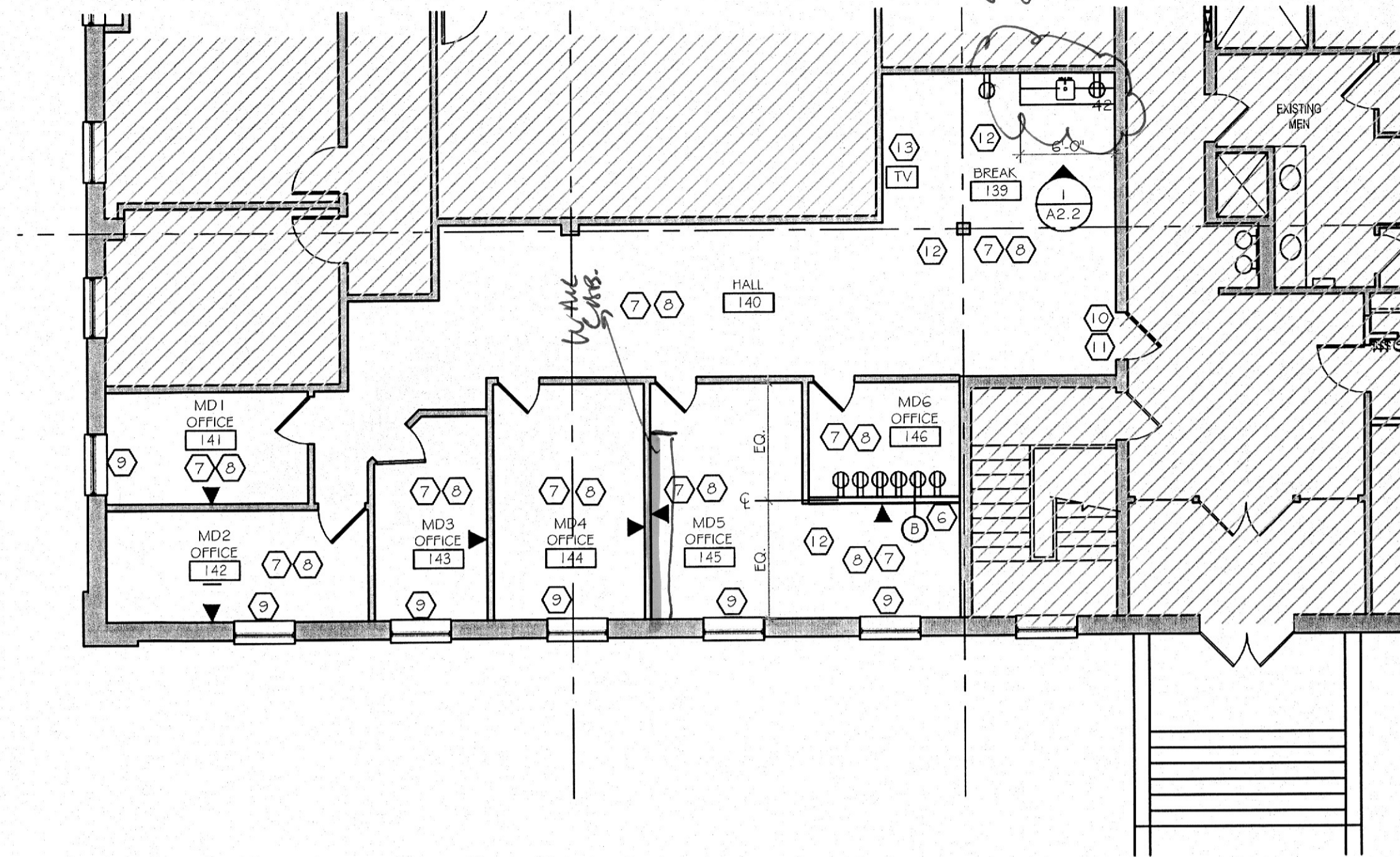
drawn: **A2.2**  
checked:

**GENERAL NOTES**

- EXISTING CEILING, LIGHTS, DIFFUSERS ECT... TO REMAIN.
- COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION WITH THE DESIGN BUILD MEP DRAWINGS.
- MICROWAVE AND REFRIGERATOR WILL BE SUPPLIED BY TENANT

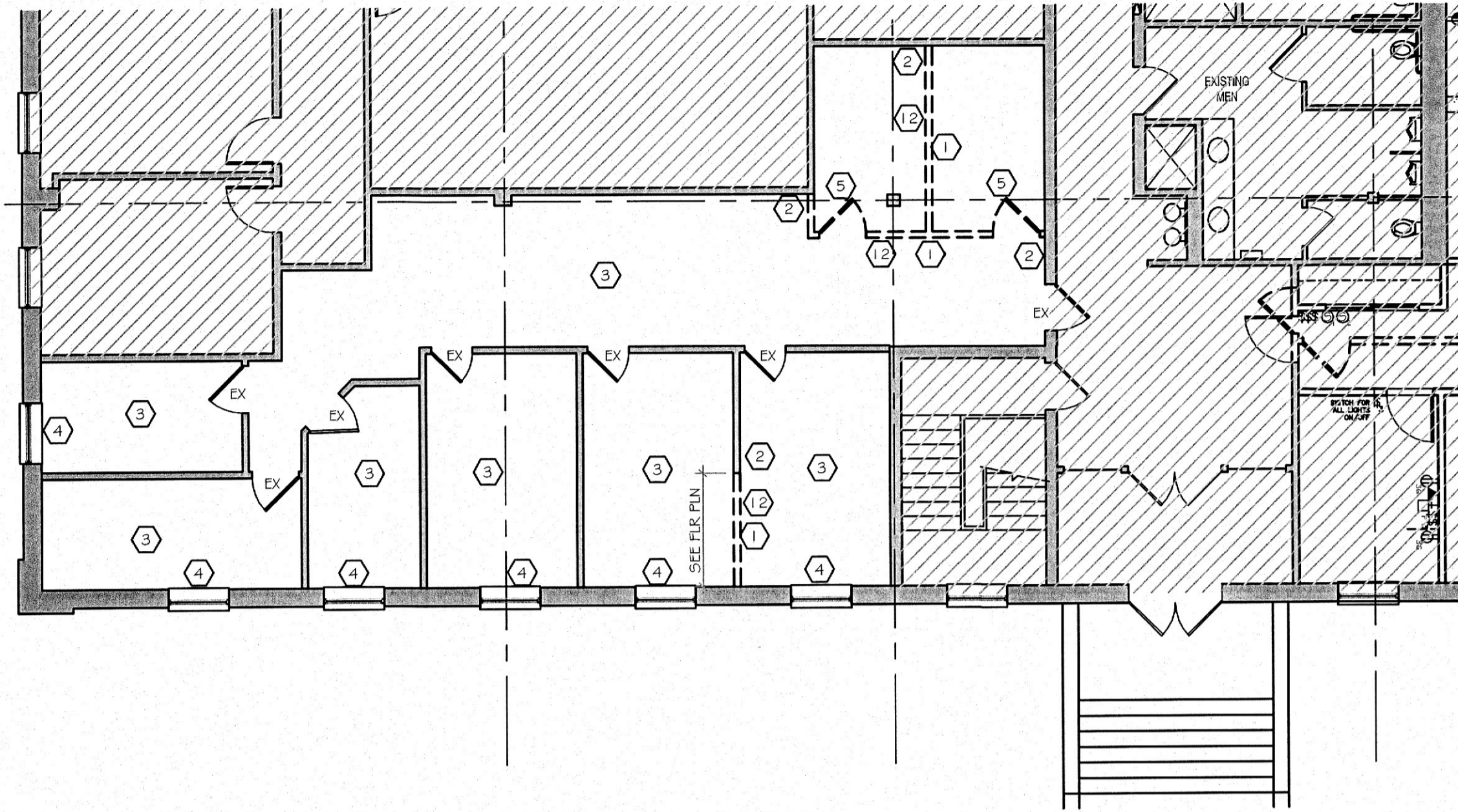
**KEY NOTES**

- DEMO / REMOVE (C) WALLS SHOWN DASHED
- WALLS TO REMAIN SHALL BE PATCHED AND REPAIRED TO RECEIVE NEW FINISHES.
- DEMO / REMOVE (C) FLOORING & WALL BASE, PREP SUB FLOOR TO RECEIVE (N) FINISH - TYP. ENTIRE SPACE
- DEMO / REMOVE (C) WINDOW SILLS, PREP OPENING FOR NEW AND REPAIR ADJACENT WALLS FOR NEW FINISHES. DEMO / REMOVE (C) BLINDS, (C) WINDOW TO REMAIN CLEAN AND PREP FOR NEW FINISHES.
- DEMO / REMOVE (C) DOORS AND FRAMES SHOWN DASHED
- SEE PARTITION TYPES ON SHEET A4-1 FOR WALL CONSTRUCTION
- NEW FLOORING & WALL BASE - SEE FINISH SCHEDULE
- ALL WALLS TO BE PAINTED - SEE FINISH SCHEDULE
- PROVIDE NEW WINDOW SILL
- EXISTING DOOR TO BE REFINISHED TO MATCH BUILDING STANDARD
- NEW DOOR HARDWARE TO MATCH BUILDING STANDARD PROVIDE NEW KEY PAD ENTRY
- REWORK, REPAIR AND ALIGN EXISTING CEILING GRID AT DEMO WALLS AND NEW WALLS
- PROVIDE ONE CAT 5 AND TWO COAX CABLES TO EACH TV LOCATION AND TERMINATE BACK TO THE BUILDING PHONE ROOM ON THE LOWER LEVEL\*



SUITE 210 FLOOR PLAN

1/8" = 1'-0"



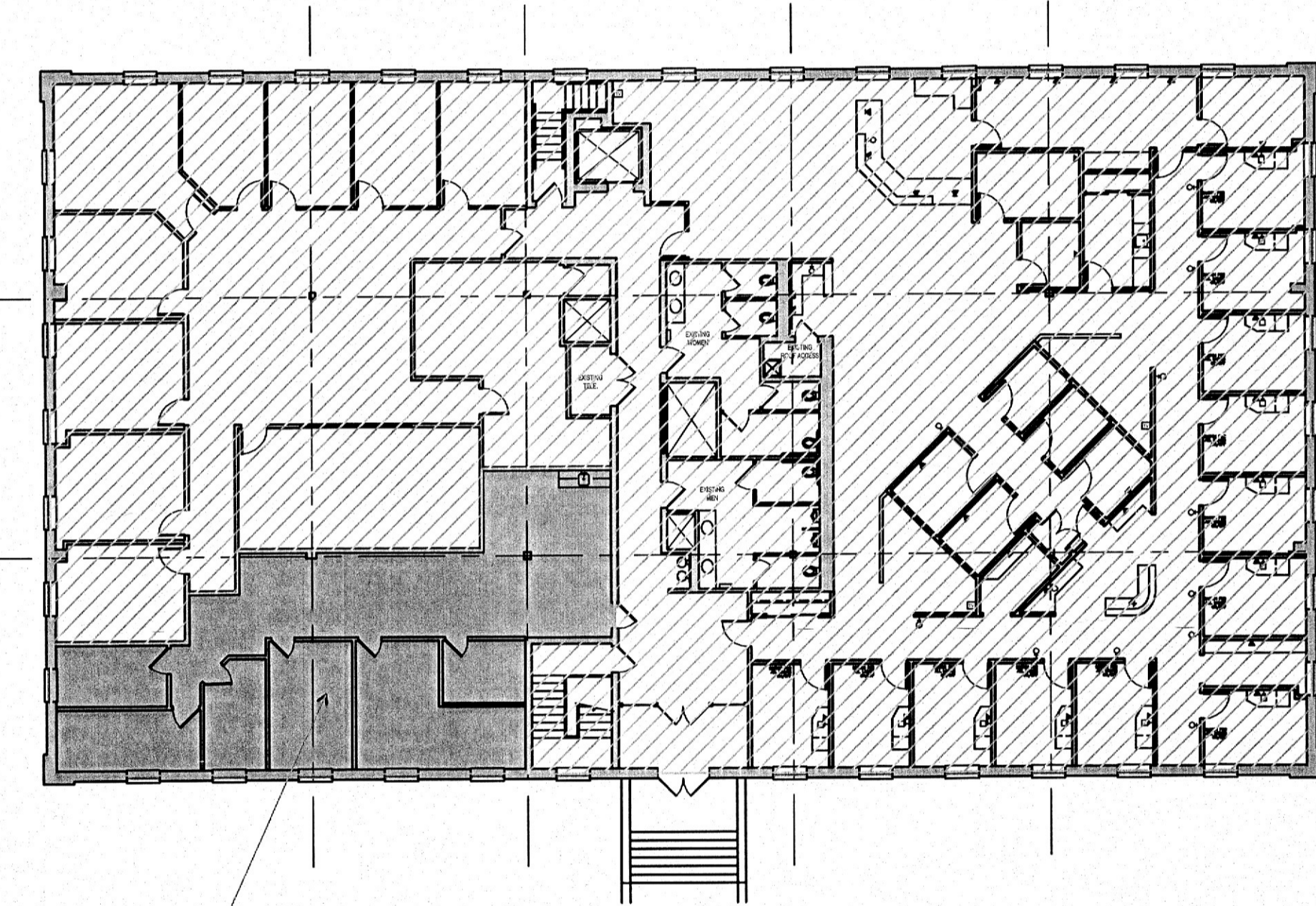
SUITE 210 DEMOLITION FLOOR PLAN

1/8" = 1'-0"



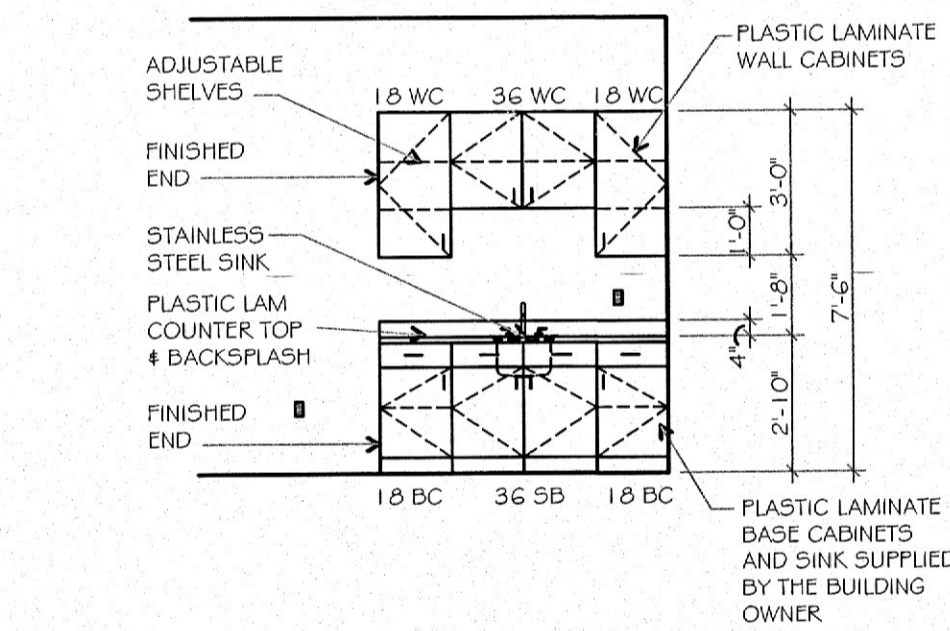
**PLAN LEGEND**

- WALLS TO BE DEMOLISHED
- WALLS (SEE PARTITION TYPES)
- EXISTING WALLS TO REMAIN, PROTECT IN PLACE
- EXISTING AREA WITH NO WORK
- TV WALL T.V. PROVIDE DATA & POWER, VERIFY HEIGHT W/ TENANT
- ⊕ DUPLEX OUTLET HEIGHT ABOVE FINISHED FLOOR
- ▲ COMMUNICATIONS 18" A.F.F. (U.N.O.)
- PARTITION TYPE (SEE P-TYPES ON SHEET A4-1)



1ST FLOOR BUILDING KEY PLAN

1/16" = 1'-0"



ELEVATION 1

1/4" = 1'-0"

**FINISH SCHEDULE**

Room Number	Room Name	Floor Option 1	Floor Option 2	Floor Option 3	Floor Option 4	Floor Option 5	Type of Baseboards	Color of Baseboards	Type of Door	Color of Door Option 1	Door Handle	Color of Door Trim	Type of Trim	Color of Trim	Type of Electrical Outlet	Color of Electrical Outlet	Type of Window Sill	Color of Window Sill	Window Cover Option 1	Window Cover Option 2	Type of Light Fixture	Color of Light Fixture	Paint North Wall	Paint East Wall	Paint South Wall	Paint West Wall	Wallcovering Option	Cabinets	Cabinet Hardware	Ceiling Option 1
MD1	Doctor's Office 1	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
MD2	Doctor's Office 2	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
MD3	Doctor's Office 3	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
MD4	Doctor's Office 4	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
MD5	Doctor's Office 5	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
MD6	Doctor's Office 6	Shaw - Square Views - 59392 Hesaire - 90111 exact proportion	Shaw Min Made Tile - 69432 Teak Wood - 32752	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
139	Break Area	Armstrong Lux Plank A6898 English Walnut Hazelnut	VCT	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		
140	Hallway	Armstrong Lux Plank A6898 English Walnut Hazelnut	VCT	-	-	-	Koetter 24112-BD-B 5"	SW Garrison Linen High Gloss	Standard	Existing To Remain	Existing To Remain	Benjamin Moore - Night Horizon 2134-10 - Semi-gloss	Existing To Remain	SW Garrison Linen - Semi-gloss	Standard	New Almond	Corian	Designer White	Hunter Douglas RLSTD115 Aster - Rich Cream	Hunter Douglas RLBE217 - Rich Cream	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	SW Garrison Linen - Flat	-	Hafele 124.02.310 1" Centers Edge Pull	Existing To Remain	Existing To Remain		

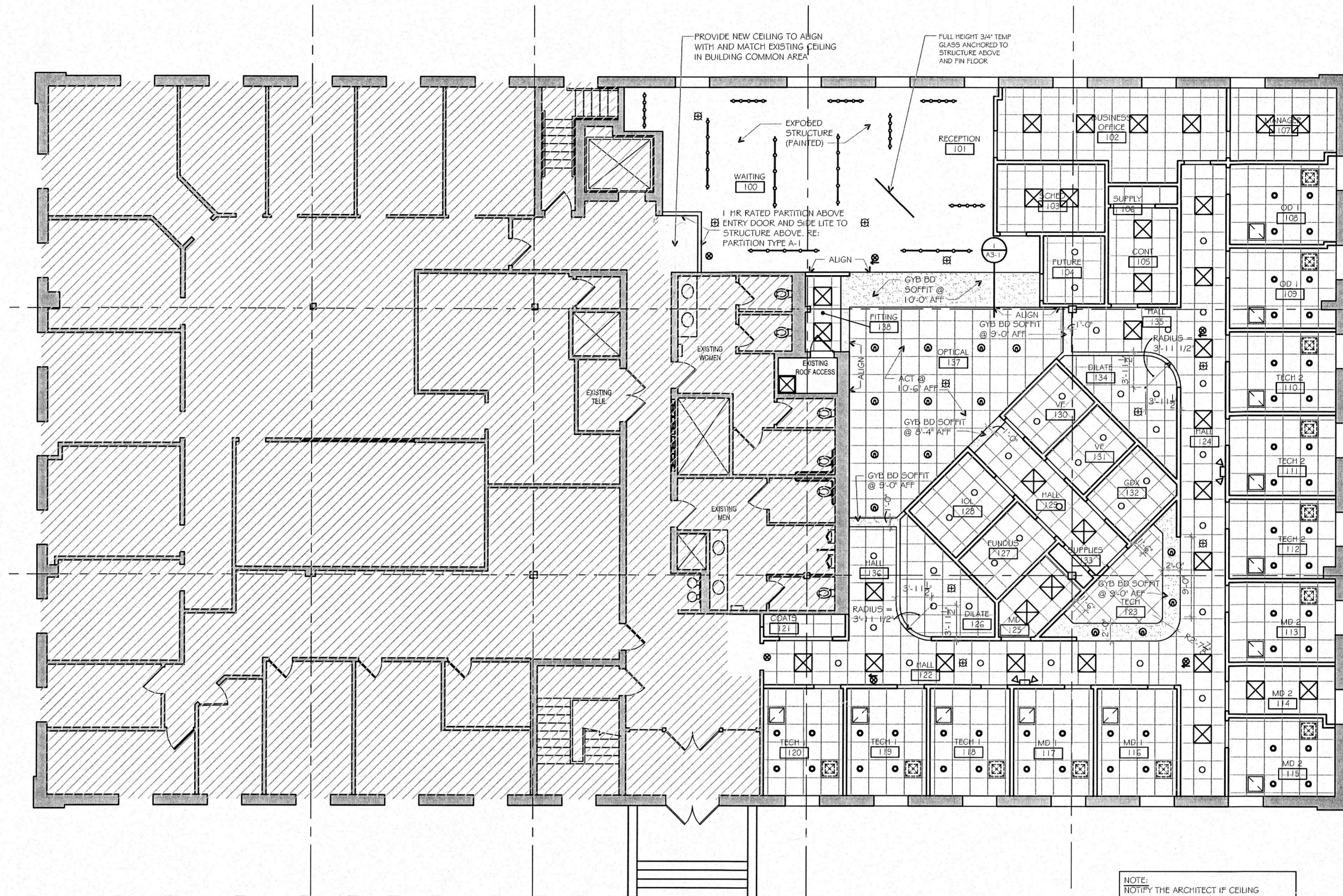
NOTES:  
1. Carpet install 1/4 turn installation.

**RCP NOTES:**

1. ALL CEILING HEIGHT 9'-5 1/2" U.N.O.
2. SWITCHING TO BE DETERMINED BY DESIGN BUILD ELECTRICAL CONTRACTOR.
3. COORDINATE MAIN SWITCHING WITH OWNER.
4. A HEAVY DUTY T-BAR CEILING GRID SYSTEM SHALL BE USED.
5. PROVIDE NO. 12 GAUGE VERTICAL SUPPORT WIRES ON THE MAIN AND CROSS RUNNERS A MAXIMUM DISTANCE OF 8" FROM THE WALL. ADDITIONAL VERTICAL SUPPORT WIRES ARE NEEDED IN THE FOLLOWING LOCATIONS:
  - A. 4' ON CENTER SPACING ALONG THE MAIN RUNNER.
  - B. LIGHT FIXTURES MUST BE POSITIVELY ATTACHED TO THE CEILING GRID WITH AN ATTACHMENT CAPABLE OF CARRYING 100% OF THE WEIGHT OF THE LIGHT FIXTURE. LIGHT FIXTURES WEIGHING UP TO 56 POUNDS REQUIRE TWO VERTICAL SUPPORT WIRES. THESE WIRES MAY BE SLACK. LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
  - C. MECHANICAL AIR TERMINALS WEIGHING LESS THAN 20 POUNDS SHALL BE POSITIVELY ATTACHED TO THE CEILING GRID. AIR TERMINALS WEIGHING 20 POUNDS BUT NOT MORE THAN 56 POUNDS SHALL BE SECURED TO THE SHELL BUILDING STRUCTURE ABOVE THE CEILING IN ADDITION TO ATTACHING THE AIR TERMINAL TO THE CEILING GRID. THESE TWO NO. 12 GAUGE WIRES MAY BE SLACK. AIR TERMINALS WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
6. PROVIDE SOUND ATTENUATION BLANKETS (SAB) OVER SOUND WALLS. (SEE FLOOR PLANS FOR LOCATION OF SOUND WALLS.) EXTEND SAB A DISTANCE OF 4'-0" ON EACH SIDE OF SOUND WALLS. SAB SHALL COVER LABELED INSULATED CEILING FIXTURES (IC) AND STOP 3" FROM RECESSED LIGHT FIXTURES THAT ARE NOT LABELED IC FIXTURES.
7. LIGHT FIXTURES SHOWN ON THESE DRAWINGS HAVE BEEN SELECTED TO MEET FUNCTIONAL REQUIREMENTS AND FOR THEIR ARCHITECTURAL APPEARANCE. THE ELECTRICAL ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR MAKING ADJUSTMENTS AS NEEDED TO MEET CODE AND ENGINEERING REQUIREMENTS.
8. LIGHT SWITCHES SHOWN ON THESE DRAWINGS HAVE BEEN PLANNED TO MEET FUNCTIONAL REQUIREMENTS. THE ELECTRICAL ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR MAKING ADJUSTMENTS AS NEEDED TO MEET CODE AND ENGINEERING REQUIREMENTS.
9. MOUNT TASK LIGHTING TO THE BOTTOM OF UPPER CABINETS BEHIND CABINET APRONS. SEE REFLECTED CEILING PLAN FOR LOCATION OF TASK LIGHTS. PROVIDE TASK LIGHTING WITH INTERNAL ROCKER SWITCHES.
10. SUSPENDED DRYWALL CEILINGS SHALL RECEIVE A LEVEL 4 FINISH.

**RCP LEGEND**

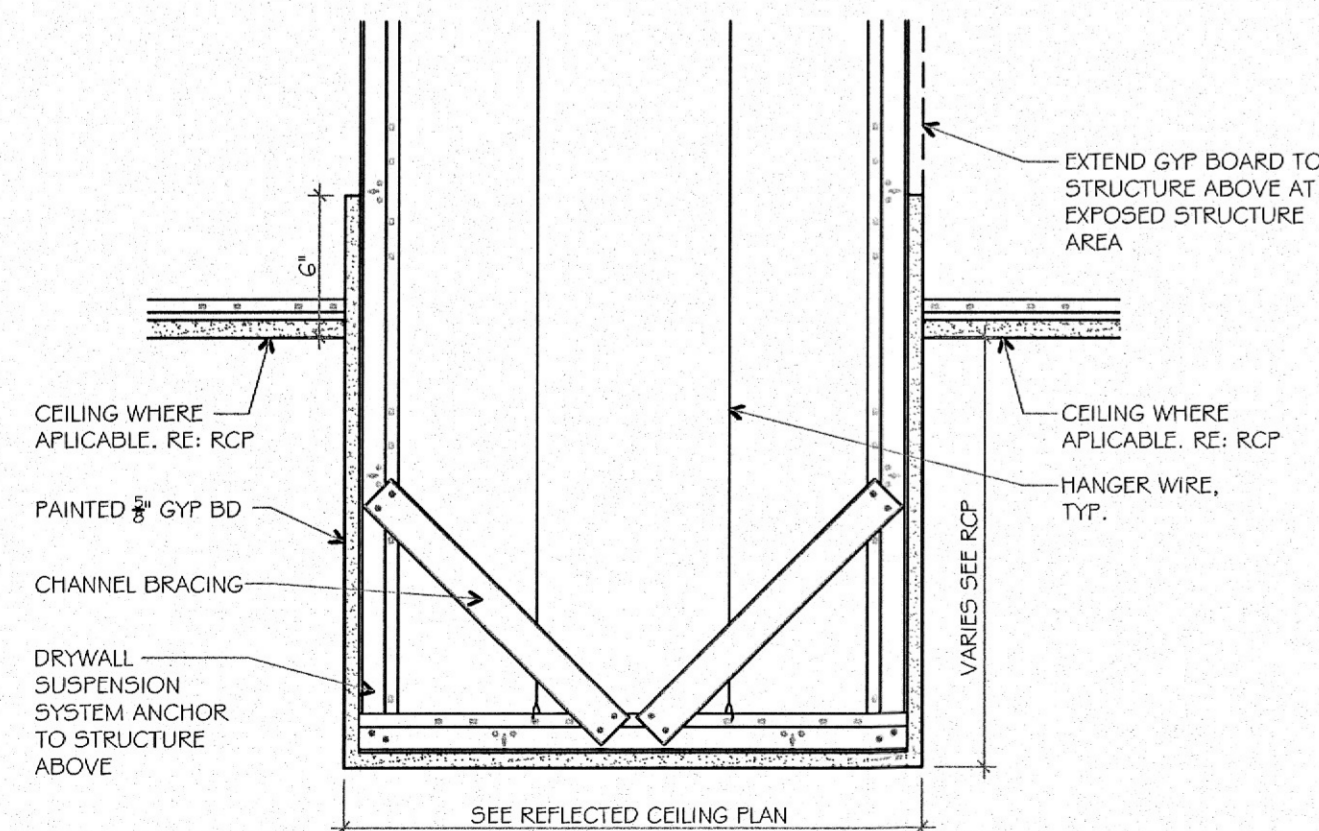
- TRACK LIGHTING
- 2x2 RECESSED FLUORESCENT
- RECESSED COMPACT FLUORESCENT
- RECESSED INCANDESCENT DOWNLIGHT
- M.R. DOWNLIGHT
- PENDANT
- EXIT LIGHT
- DIRECTIONAL EXIT LIGHT
- SUPPLY AIR GRILLE
- RETURN AIR GRILLE
- SPEAKER
- EMERGENCY LIGHT



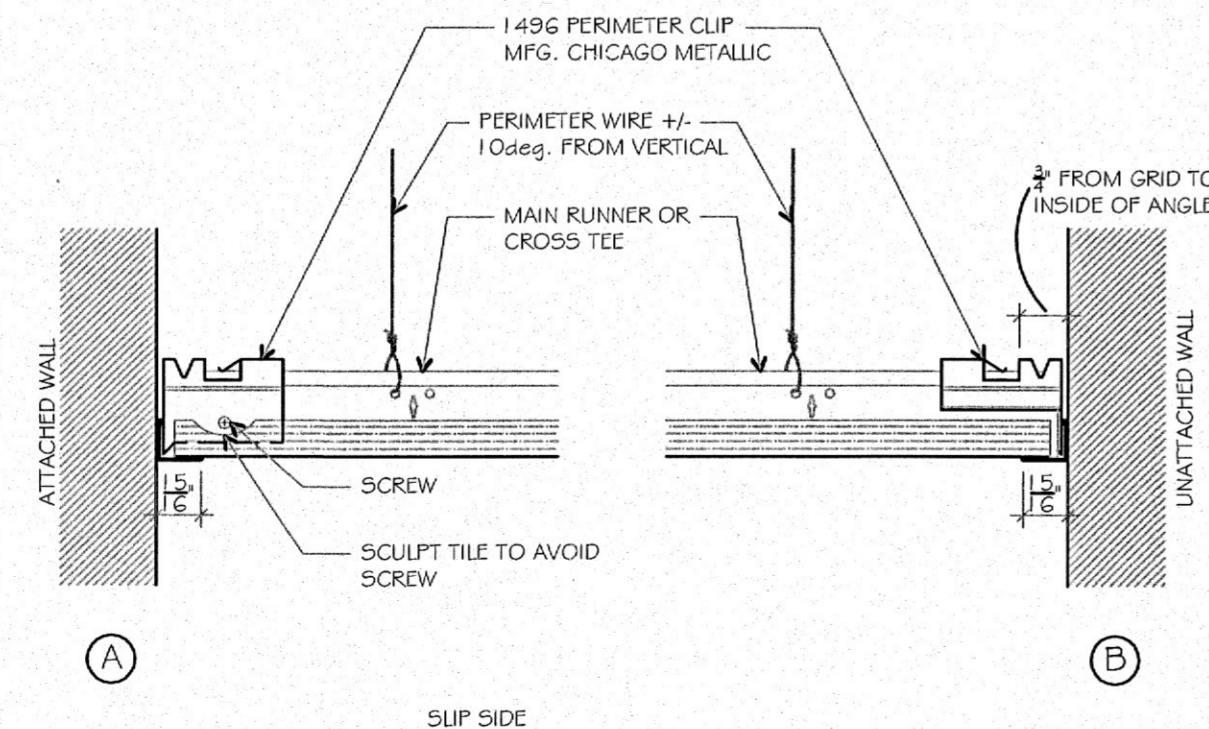
**FIRST FLOOR REFLECTED CEILING PLAN**  
1/8" = 1'-0"



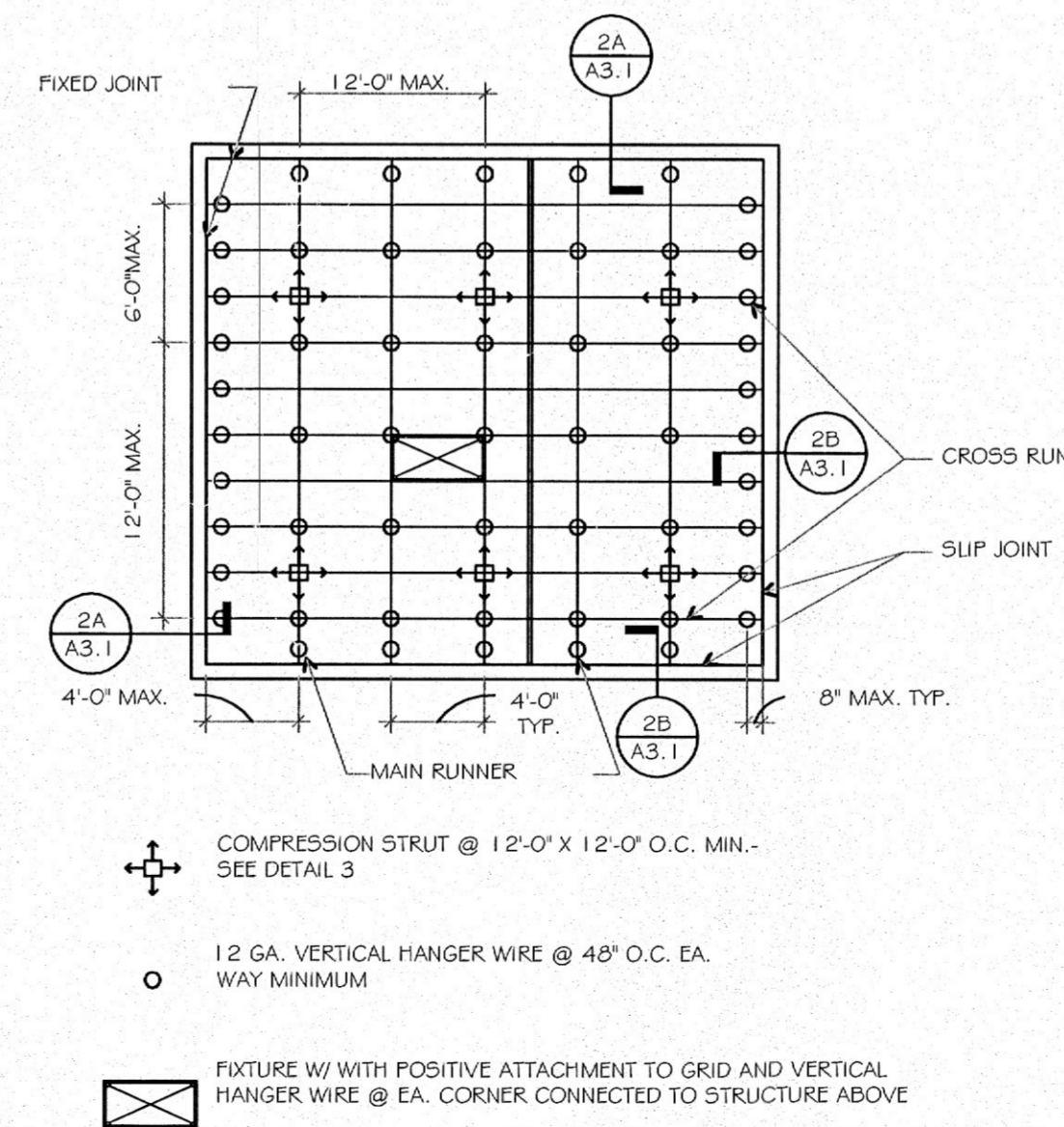
NOTE:  
NOTIFY THE ARCHITECT IF CEILING HEIGHT SHOWN IN OPTICAL ROOM #137 CAN NOT BE ACHIEVED



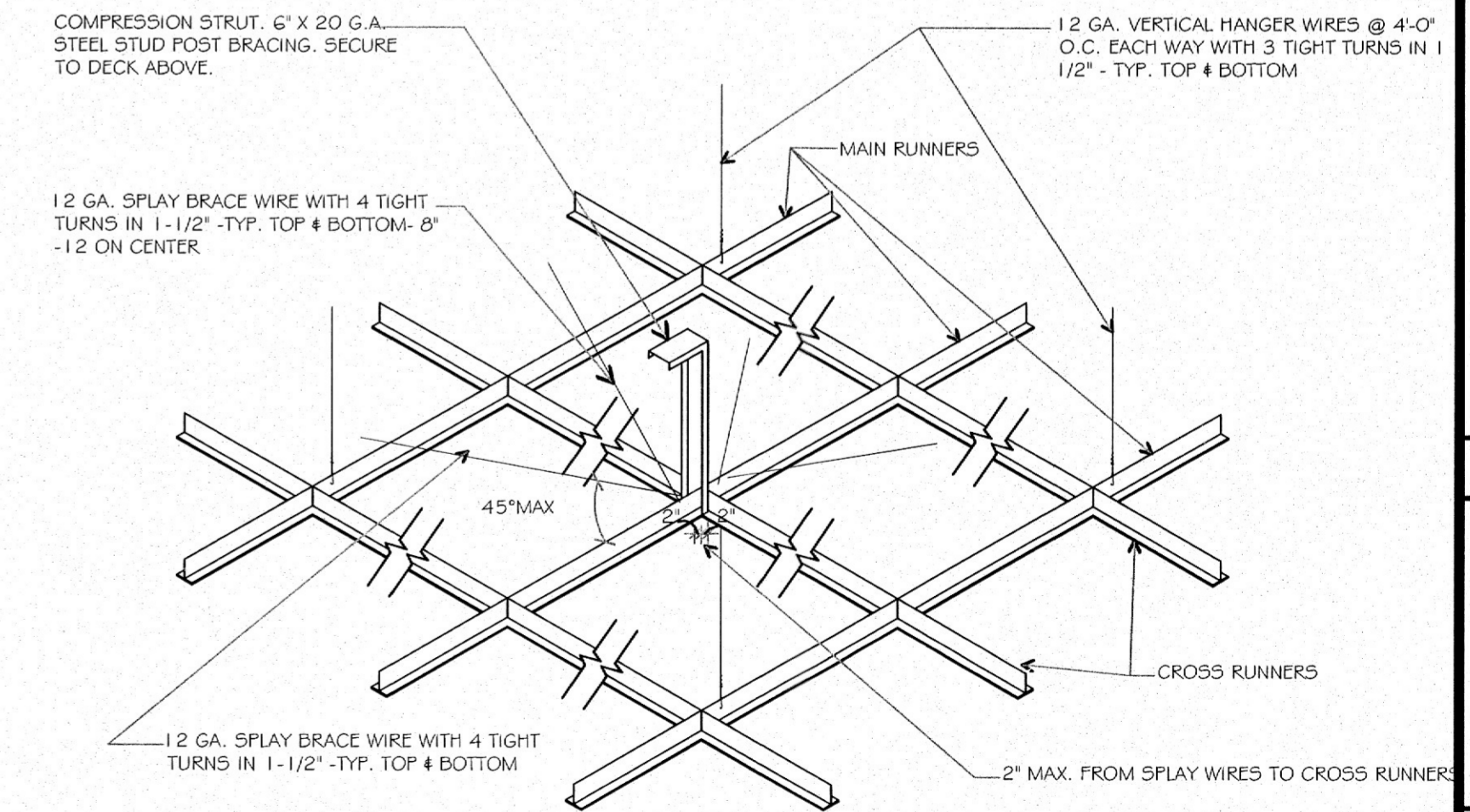
**1 TYPICAL BULKHEAD**  
1 1/2" = 1'-0"



**2 TYPICAL CEILING GRID RUNNER**  
3" = 1'-0"



**3 DIAGRAMMATIC SUSPENDED CEILING PLAN**  
1/8" = 1'-0"



**4 SEISMIC BRACING DETAIL**  
NOT TO SCALE



1115 Olive Executive Parkway  
Suite 100  
St. Louis, Missouri 63132  
phone: 314-872-9700 web: sp-stl.com

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New Office Space for:  
**COMPLETE EYE CARE**  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124

**REVISION DATES**

Revision # 1	11-23-2011

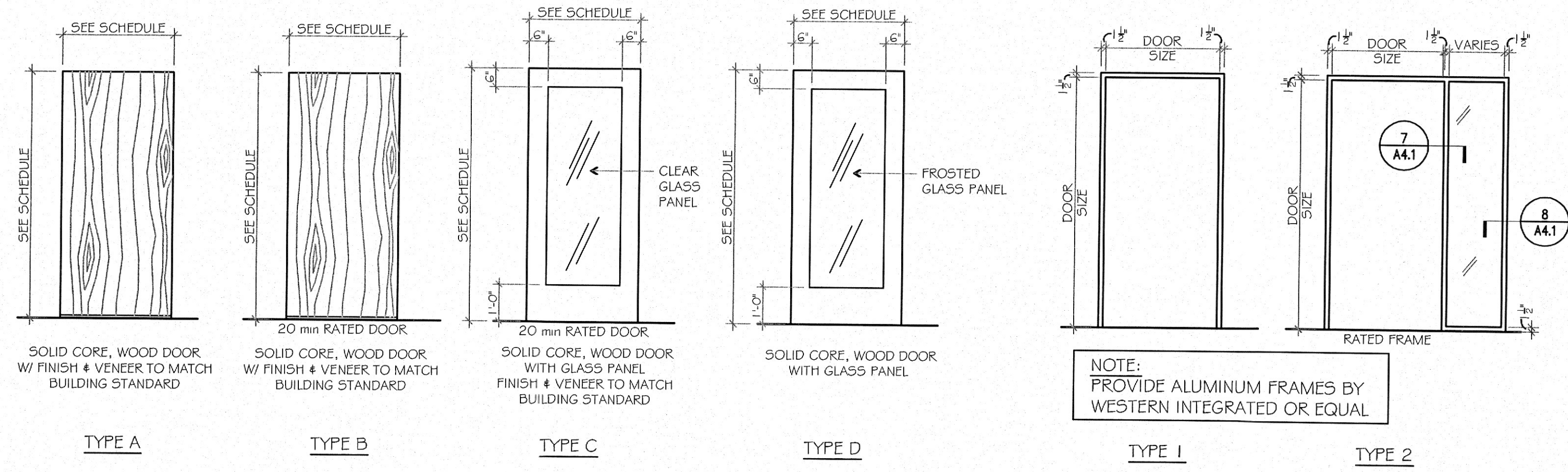
**CONSTRUCTION DOCUMENTS**

**RCP PLAN**

Issue date: 11.18.2011 sp # 11021

drawn: \_\_\_\_\_  
checked: \_\_\_\_\_

**A3.1**



**DOOR TYPES**  
1/2" = 1'-0"

**FRAME TYPES**  
1/4" = 1'-0"

NOTE:  
PROVIDE FIRE LITE GLASS IN ALL DOORS AND  
BORROWLITES LOCATED IN RATED WALLS

DOOR SCHEDULE													
DOORS							FRAMES						
NO.	SIZE		TYPE	LABEL	HDW GRP	FIN	REMARKS	FIN	TYPE	DETAILS			REMARKS
	WIDTH	HGHT								HEAD	JAMB	SILL	
100	3'-0"	7'-0"	C	20 MIN	2		HDW TO MATCH BLDG STANDARD		2	1/A4.1	1/A4.1	4/A4.1	20 MIN RATED DOOR & FRAME
102	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
103	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
104	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
105	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
106	(2) 2'-6"	8'-0"	----	--	--		SLIDER DOORS & HDW		----	----	----	4/A4.1	
107	3'-0"	8'-0"	A	--	4				1	1/A4.1	1/A4.1	4/A4.1	
108	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
109	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
110	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
111	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
112	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
113	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
115	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
116	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
117	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
118	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
119	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
120	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
121	(2) 3'-0"	8'-0"	----	--	--		SLIDER DOORS & HDW		----	----	----	4/A4.1	
122	3'-0"	7'-0"	B	20 MIN	3		HDW TO MATCH BLDG STANDARD			1/A4.1	1/A4.1	4/A4.1	DOOR #122 20 MIN RATED DOOR & FRAME USE EXISTING STOCK FILED DOOR - REFINISH TO MATCH BLDG STANDARD
124	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
127	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
128	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
129	3'-0"	8'-0"	D	--	1				1	1/A4.1	1/A4.1	4/A4.1	
130	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
131	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
132	3'-0"	8'-0"	A	--	1				1	1/A4.1	1/A4.1	4/A4.1	
133	(2) 2'-0"	8'-0"	----	--	--		SLIDER DOORS & HDW		----	----	----	4/A4.1	

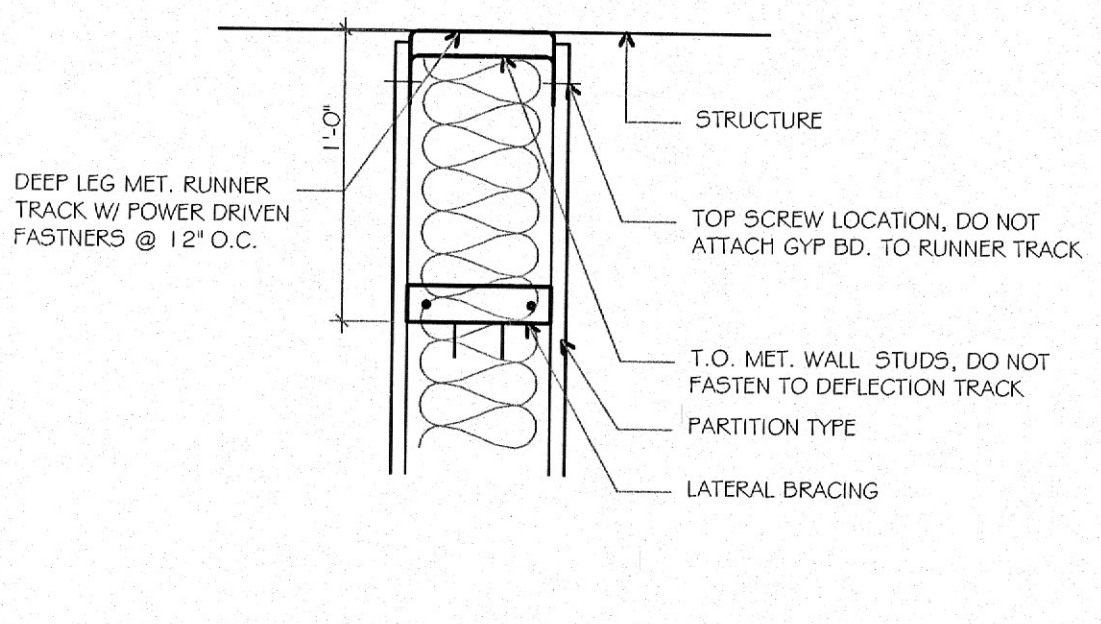
**HARDWARE AND DOOR NOTES**

- PROVIDE COMPLETE, CODE CONFORMING FINISH HARDWARE INSTALLATION AS REQUIRED FOR A FULLY OPERATIONAL FACILITY, INCLUDING ALL WORK REQUIRED FOR PROPER COMPLETION OF PROJECT, THOUGH NOT DEFINITELY SPECIFIED HEREIN.
- TEMPLATES: FURNISH TEMPLATES OR PHYSICAL HARDWARE ITEMS TO DOOR AND FRAME MANUFACTURERS AS REQUIRED TO ENSURE PROPER PREPARATION FOR HARDWARE.
- HARDWARE: SECURELY ANCHOR WITH APPROPRIATE FASTENING DEVICES, FINISH EXPOSED FASTENERS TO MATCH HARDWARE.
- COORDINATE ALL HARDWARE REQUIREMENTS WITH ANY SECURITY DEVICES INDICATED. COORDINATE INSTALLATION FOR PROPER OPERATION, INTERFACE AND CONNECTION WITH ANY SECURITY DEVICES AND/OR SECURITY SYSTEMS.
- SEE DOOR SCHEDULE AND FINISH SCHEDULE FOR DOOR AND FRAME FINISH. EXISTING DOORS AND FRAMES TO BE REUSED SHALL BE REFINISHED AS NECESSARY.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- CYLINDRICAL LOCKS SHALL MATCH BUILDING STANDARD. ALL HARDWARE FINISH TO MATCH BUILDING STANDARD.
- ALL DOORS INDICATED AS EXIT DOORS ON LIFE SAFETY PLANS SHALL INCLUDE HARDWARE THAT ALLOWS OPERATION AND EGRESS WITHOUT THE USE OF A KEY IN THE DIRECTION OF EGRESS INDICATED BY THE EXIT SIGN ARROWS AND SHALL RELEASE WITH A FORCE NOT TO EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
- PROVIDE A.D.A. APPROVED LEVER HANDLE ON ALL SWING DOORS. PROVIDE SCHLAGE SPARTA SERIES OR APPROVED EQUAL.
- ALL HARDWARE SHALL COMPLY WITH THE A.D.A. ACCESSIBILITY STANDARDS, LATEST EDITION.
- COORDINATE ALL KEYING AND UPGRADED ACCESS SYSTEMS WHERE UPGRADED SYSTEMS ARE PROVIDED LOCKING SYSTEMS MUST CONTINUE TO PROVIDE MECHANICAL KEY ACCESS FOR USE IN EMERGENCY SITUATIONS ALL LOCKS SHALL MATCH BUILDING STANDARD.
- ALL DOOR FRAMES TO BE ALUMINUM PREFINISHED KNOCK DOWN FRAMES TO MATCH BUILDING STANDARD U.N.O..
- ALL DOORS TO BE PREFINISHED WOOD TO MATCH BUILDING STANDARD U.N.O.
- ALL HARDWARE TO MATCH BUILDING STANDARD.

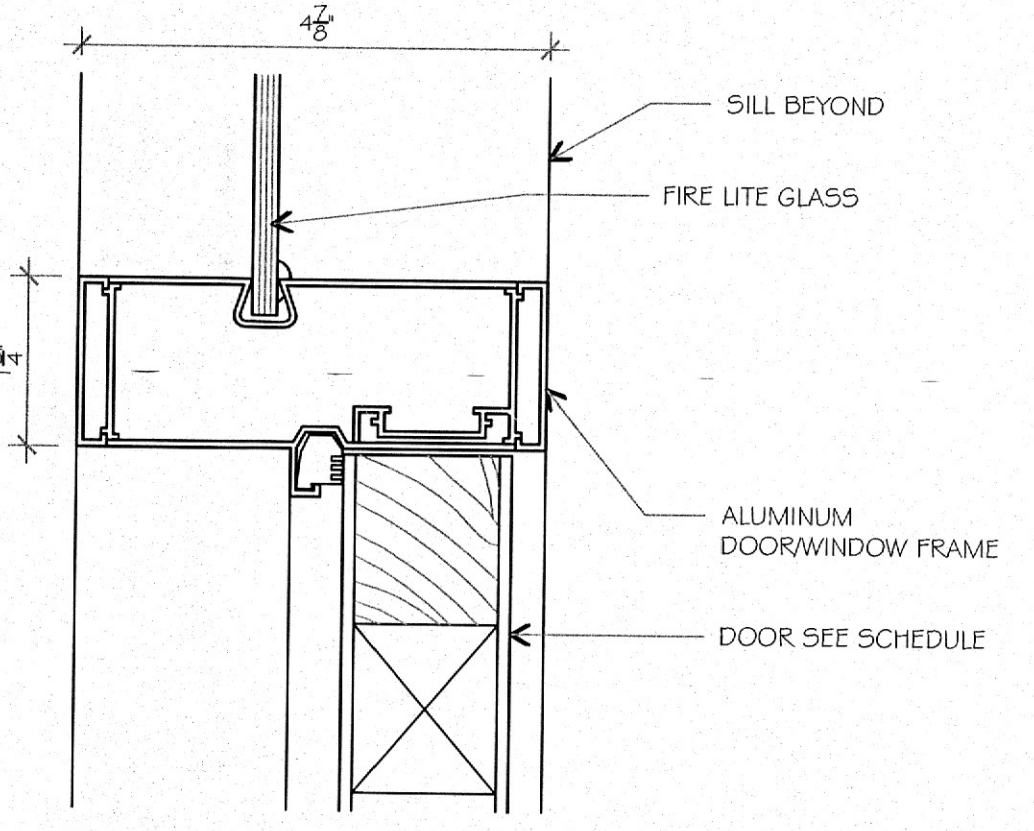
**DOOR HARDWARE**

- HARDWARE GROUP 1:**
- 3 EA FULL MORT HINGE
  - 1 EA WALL STOP
  - 3 EA SILENCER
  - 1 EA PASSAGE SET
- HARDWARE GROUP 2:**
- 3 EA FULL MORT HINGE
  - 1 EA WALL STOP
  - 3 EA SILENCER
  - 1 EA LOCK SET
  - 1 EA CLOSER
- HARDWARE GROUP 3:**
- 3 EA FULL MORT HINGE
  - 1 EA WALL STOP
  - 3 EA SILENCER
  - 1 EA LOCK SET (WITH ENTRY KEY PAD)
  - 1 EA CLOSER
- HARDWARE GROUP 4:**
- 3 EA FULL MORT HINGE
  - 1 EA WALL STOP
  - 3 EA SILENCER
  - 1 EA LOCK SET

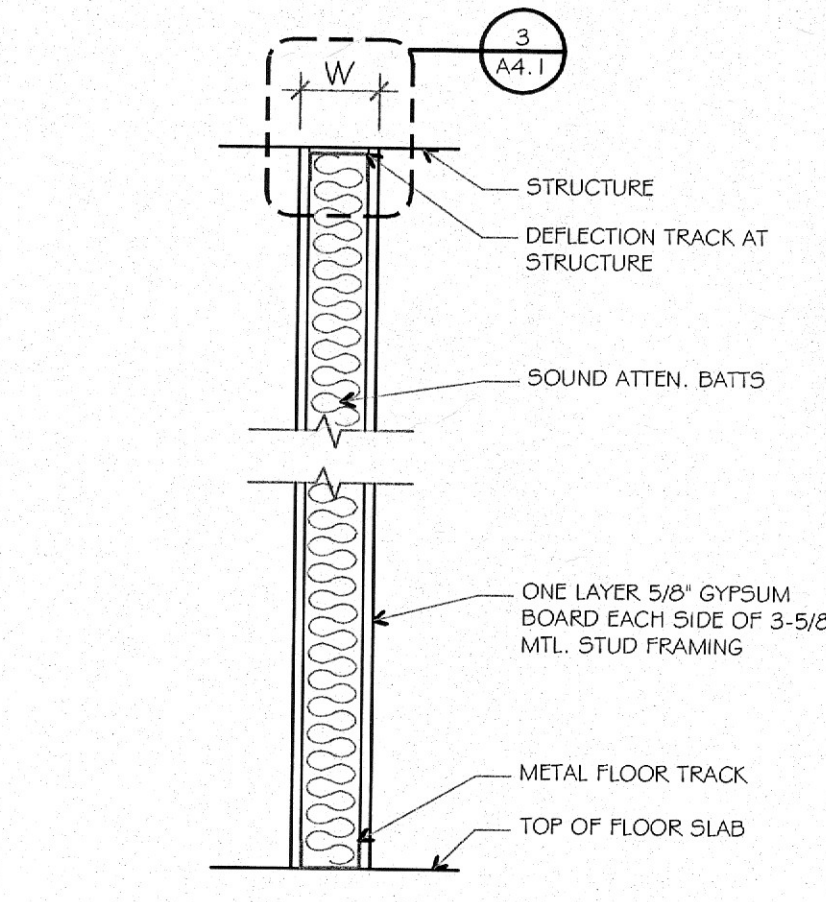
**3 DEFLECTION TRACK**  
1-1/2" = 1'-0"



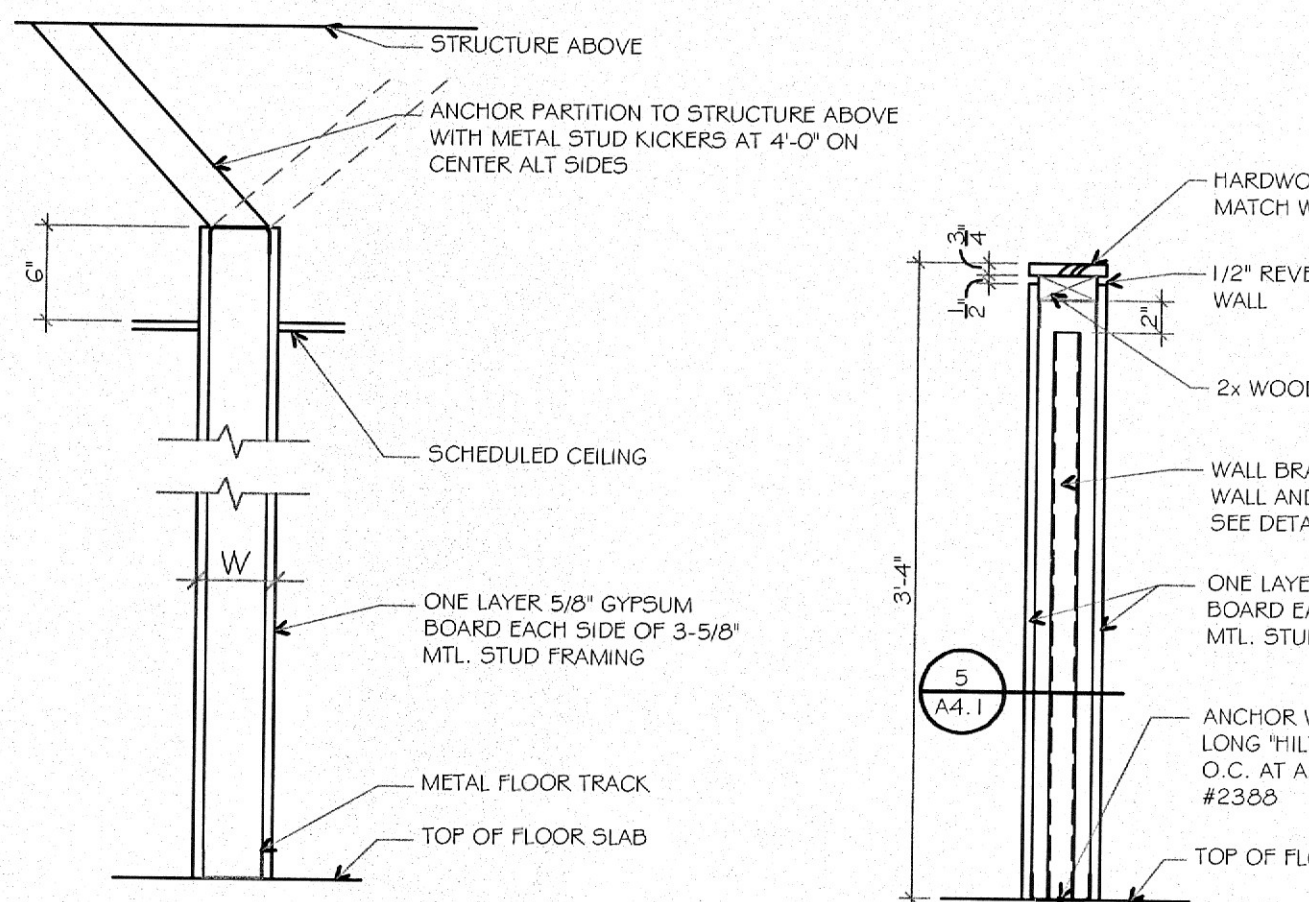
**4 DOOR SILL**  
6" = 1'-0"



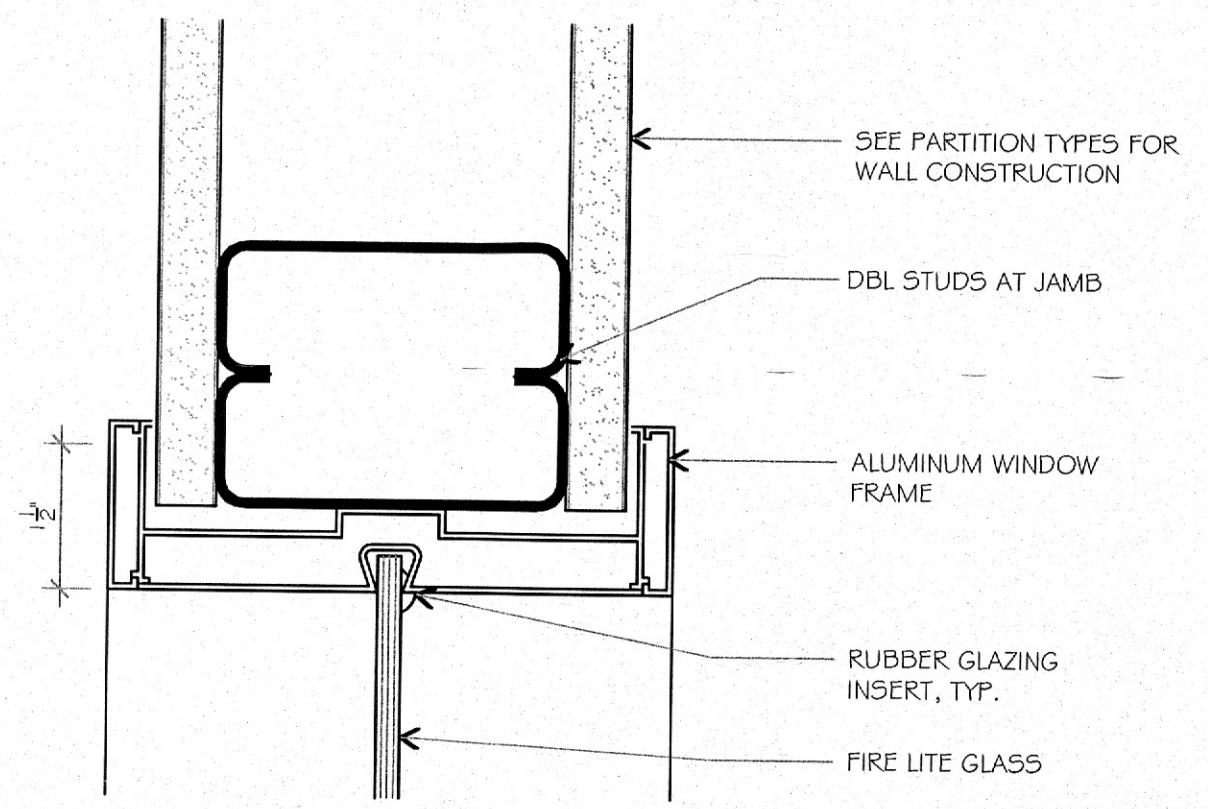
**6 LOW WALL BRACE DETAIL**  
3" = 1'-0"



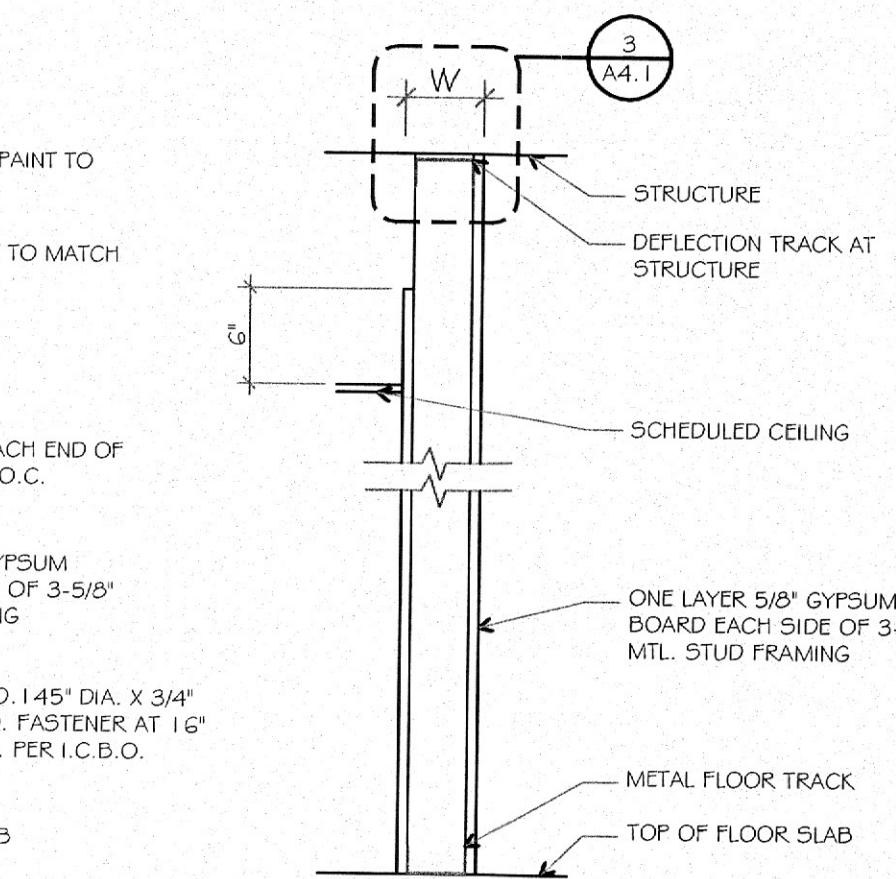
**7 DOOR JAMB AT SIDELITE**  
6" = 1'-0"



**5 LOW WALL BRACE DETAIL**  
3" = 1'-0"



**8 GLAZING HEAD, JAMB SIM.**  
6" = 1'-0"



**PARTITION TYPES**  
1" = 1'-0"

- (A) PARTITION WALL W=4-7/8"
- (A-1) 1 HOUR RATED PARTITION PROVIDE 1 LAYER TYPE "X" GYP BOARD EACH SIDE U/L# U4119
- (B) PARTITION WALL W=4-7/8"
- (C) PARTITION WALL W=4-7/8"
- (D) PARTITION WALL W=4-7/8"

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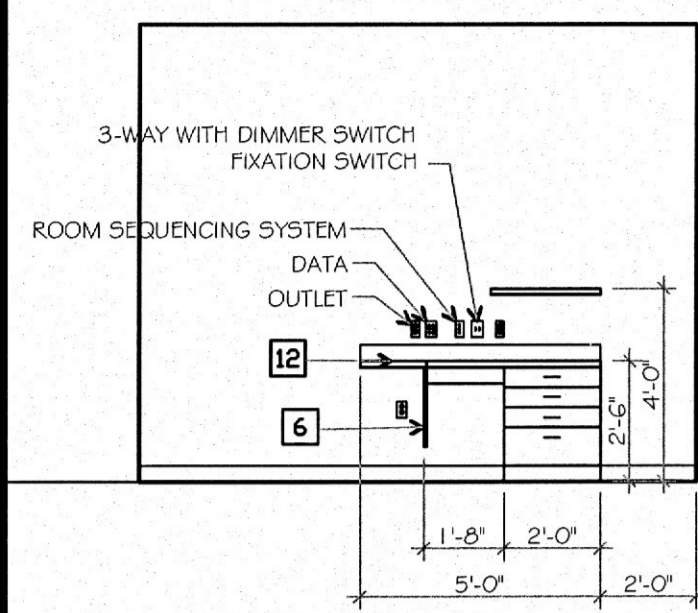
**REVISION DATES**  
Revision # 1 11-23-2011

**CONSTRUCTION DOCUMENTS**

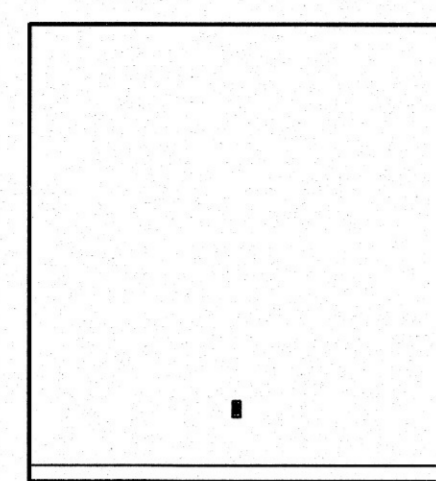
**PARTITION TYPES & DOOR SCHEDULE**

issue date: 11.18.2011 sp # 11020

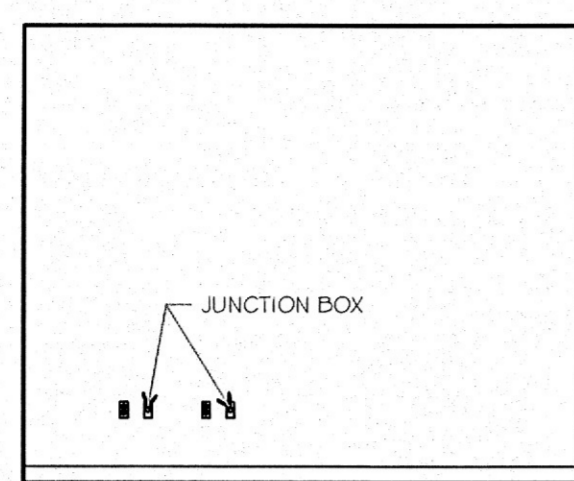
drawn: \_\_\_\_\_  
checked: \_\_\_\_\_ **A4.1**



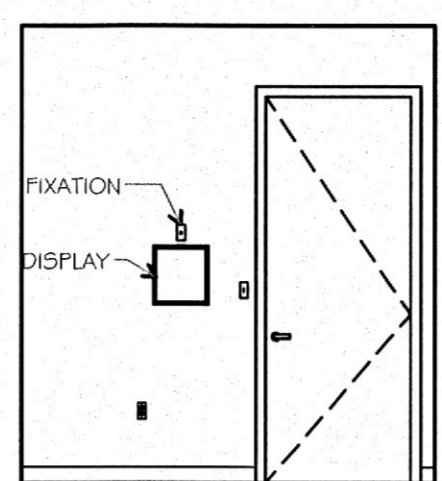
**1 ELEV @ EXAM ROOM**  
1/4" = 1'-0"



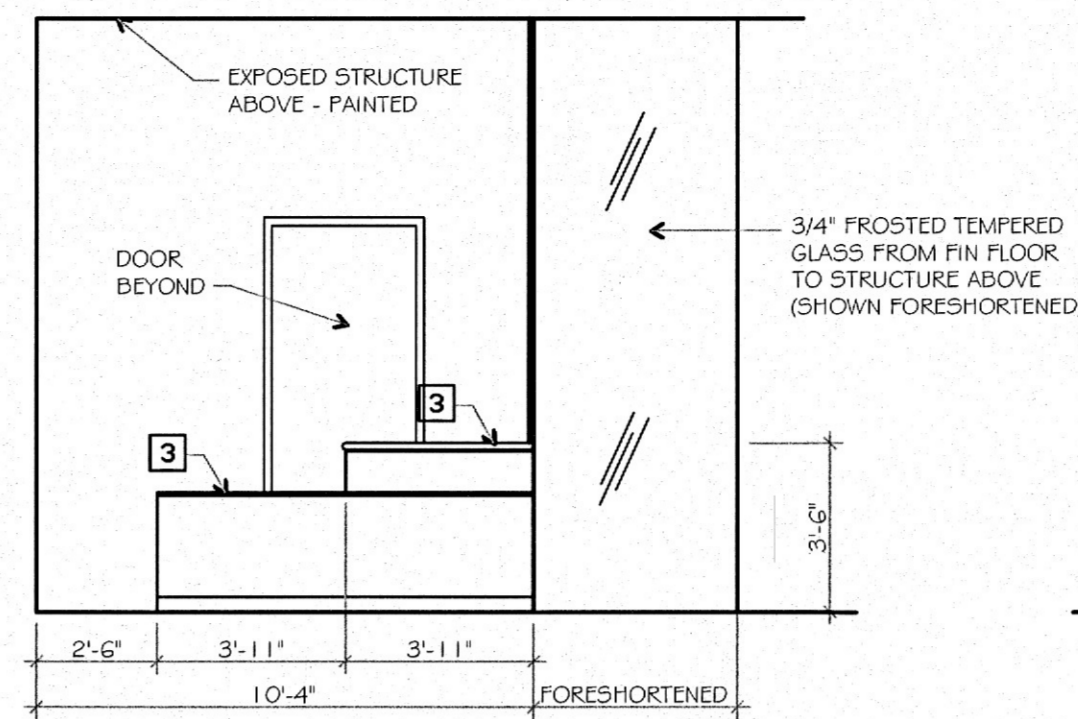
**2 ELEV @ EXAM**  
1/4" = 1'-0"



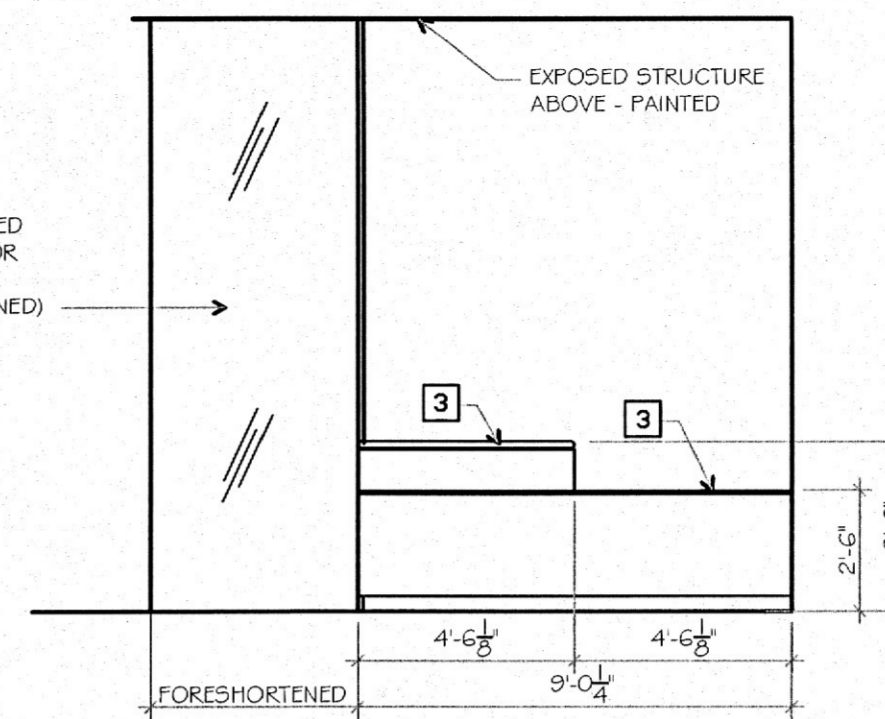
**3 ELEV @ EXAM**  
1/4" = 1'-0"



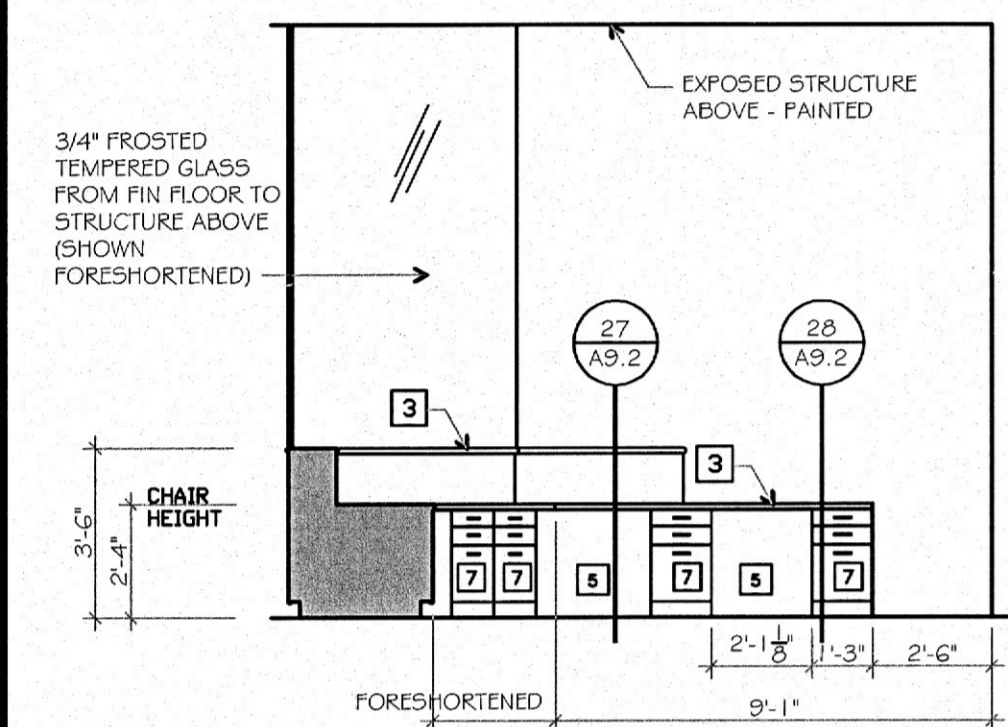
**4 ELEV @ EXAM ROOM**  
1/4" = 1'-0"



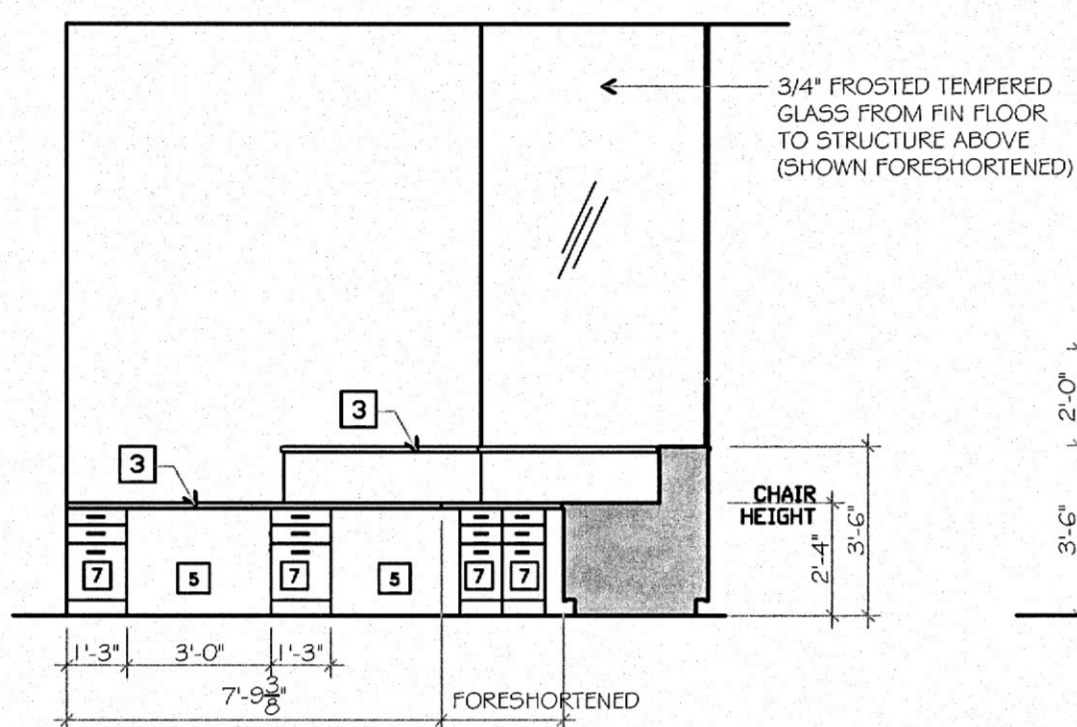
**5 ELEVATION @ RECEIPT**  
1/4" = 1'-0"



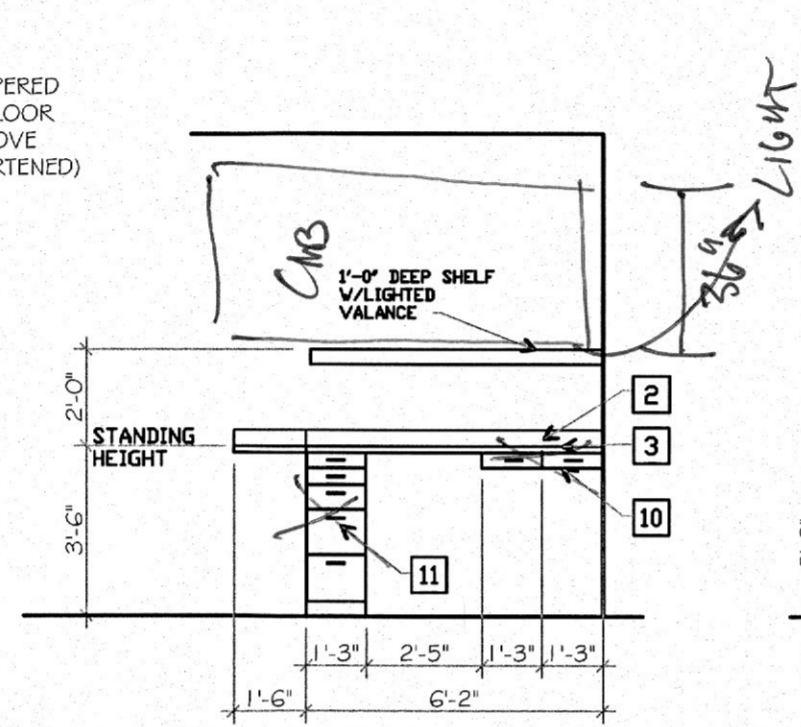
**6 ELEVATION @ RECEIPT**  
1/4" = 1'-0"



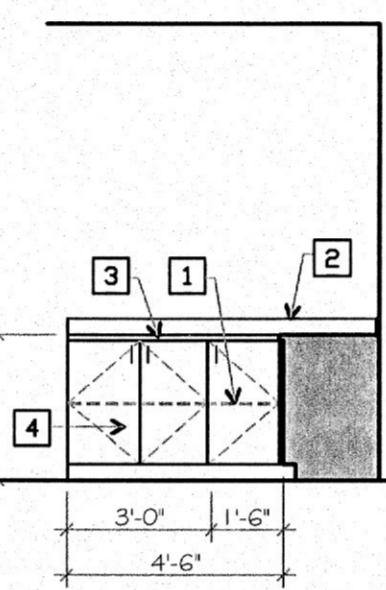
**7 ELEVATION @ RECEIPT**  
1/4" = 1'-0"



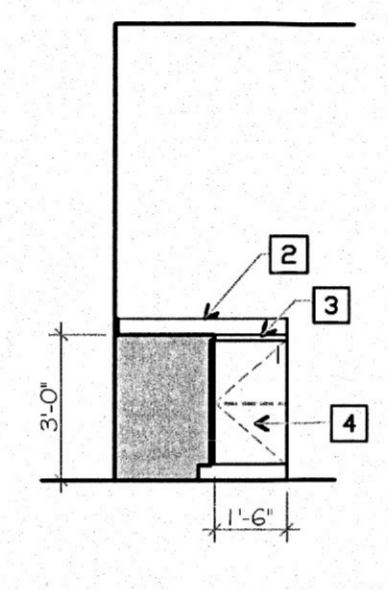
**8 ELEVATION @ RECEIPT**  
1/4" = 1'-0"



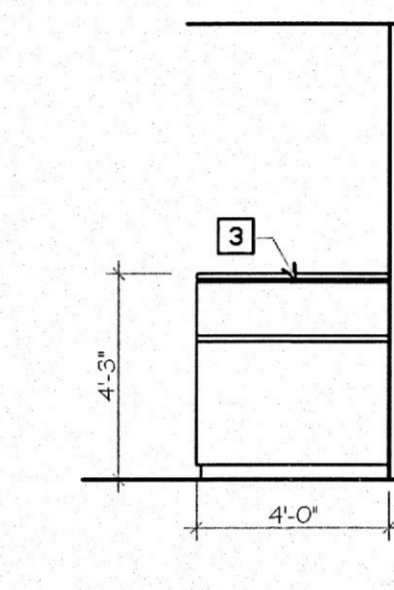
**9 ELEV @ 125**  
1/4" = 1'-0"



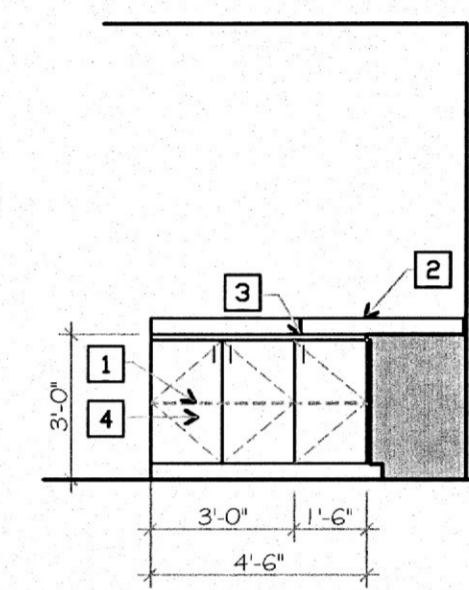
**10 ELEV @ RECPT**  
1/4" = 1'-0"



**11 ELEV @ RECPT**  
1/4" = 1'-0"



**12 ELEV @ 138**  
1/4" = 1'-0"

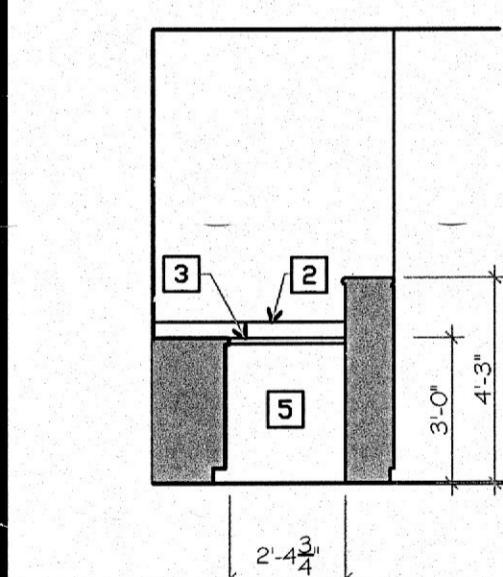


**13 ELEV @ 138**  
1/4" = 1'-0"

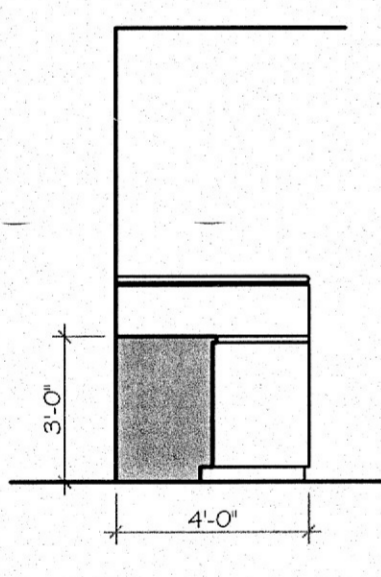
- CASEWORK - GENERAL NOTES:**
- ALL DIMENSIONS FOR CASEWORK SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO PRODUCTION OF THE CASEWORK. ALL CABINET CONSTRUCTION SHALL BE CUSTOM GRADE, FLUSH OVERLAY TYPE AS DEFINED BY CURRENT A.W.I. STANDARDS U.N.O.
  - ALL KNEE SPACES TO HAVE 2'-1" MINIMUM VERTICAL CLEARANCE.
  - NOMINAL 2'-0" DEEP BASE CABINETS SHALL HAVE 25" DEEP COUNTER TOPS WITH A MINIMUM 1/4" OVERHANG BEYOND DOOR AND DRAWER FACES. NOMINAL 18" DEEP BASE CABINETS SHALL HAVE 18" DEEP COUNTER TOPS WITH A MINIMUM 1/4" OVERHANG BEYOND DOOR AND DRAWER FACES. NOMINAL 1'-0" DEEP WALL CABINETS SHALL HAVE 1'-0" CLEAR INSIDE DEPTH. ALL BASE CABINETS ARE TO BE NOMINAL 2'-0" DEEP U.N.O. ALL WALL CABINETS ARE TO BE NOMINAL 1'-0" DEEP U.N.O.
  - AT 90° INSIDE CORNERS OF BASE AND TOP CABINETS, PROVIDE CORNER CABINETS WITH SHIELING ACCESSIBLE FROM AT LEAST ONE SIDE.
  - SINKS SHOWN ON THESE DRAWINGS INDICATE LOCATIONS ONLY AND NOT ACTUAL SIZES OR TYPES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACTUAL SIZES AND TYPES WITH CABINET FABRICATOR PRIOR TO FABRICATION.
  - BLOCKING FOR CABINETS IS NOT SHOWN ON THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING WALL BLOCKING FOR CABINETRY. WHERE WOOD BLOCKING IS PROHIBITED BY CODE PROVIDE GALVANIZED STEEL SHEET BLOCKING.
  - PROVIDE BRACES FOR UNSUPPORTED COUNTER TOPS AT 4'-0" O.C. MAXIMUM. INDICATE LOCATION OF BRACES ON SHOP DRAWINGS. BRACES SHALL HAVE BREAKING DEPTH OF AT LEAST 2/3 THE DEPTH OF THE SURFACE BEING BRACED. PROVIDE BRACES WITH A 90° ANGLE BETWEEN THE HORIZONTAL AND VERTICAL LEGS. (RACKS COUNTER, SUPPORT BRACKETS, FLUSH MOUNT, WHITE POWDER COAT, OR EQUAL).
  - PROVIDE ONE GROMMET IN WORK SURFACE WHEREVER KNEE SPACE IS LOCATED BELOW. GROMMETS SHALL BE FIELD DRILLED. COORDINATE EXACT LOCATIONS WITH OWNER.
  - COMPUTER KEYBOARD TRAYS ARE O.F.C.I. ASSUME ONE FOR EACH KNEE SPACE. COORDINATE LOCATIONS WITH OWNER.
  - WHERE FASCIAS ARE INDICATED DIRECTLY ABOVE TOP CABINETS IN CASEWORK ELEVATIONS, GENERAL CONTRACTOR MAY SELECT EITHER PLASTIC LAMINATE OR GYPSUM BOARD FASCIA DETAIL. SEE WALL CABINET DETAILS. ALL SOFFITS ARE TO EXTEND PAST FACE OF CABINET AND SIDES BY 1".
  - PROVIDE CABINET LOCKS IN LOCATIONS AS DIRECTED BY OWNER. SEE ALLOWANCES IN SPECIFICATIONS OR PROVIDE A MINIMUM OF 30% OF CABINETS AND 1 PER DRAWER/PEDESTAL IF NO ALLOWANCE IS GIVEN.
  - HORIZONTAL CABINET DIMENSIONS SHOWN ON DRAWINGS MAY BE MODIFIED TO ACCOMMODATE FIELD CONDITIONS AS FOLLOWS:
    - CABINETS WITH SINKS - HOLD DIMENSIONS
    - CABINETS WITHOUT SINKS - +/- 3"
    - DRAWER PEDESTALS - +/- 1/2"
    - FILE PANELS - +/- 3" TO 8" WIDE MAX
    - KNEE SPACES - +/- 3" (EXCEPT WHERE EQUIPMENT IS INDICATED I.E. UNDERCOUNTER REFRIGERATOR, MICROWAVE)

- CASEWORK REFERENCE LEGEND**
- 1 ADJ. SHELF
  - 2 4" BACKSPASH P-LAM
  - 3 PLAM COUNTER TOP
  - 4 PLAM BASE CABINET
  - 5 KNEE SPACE (MIN. 2'-1" CLR)
  - 6 BRACE (AS REQUIRED)
  - 7 HANGING FILE DRAWER
  - 8 SINK
  - 9 PLAM WALL CABINET
  - 10 PLAM DRAWER
  - 11 PLAM DRAWER BASE CABINET
  - 12 STAINLESS STEEL COUNTER TOP

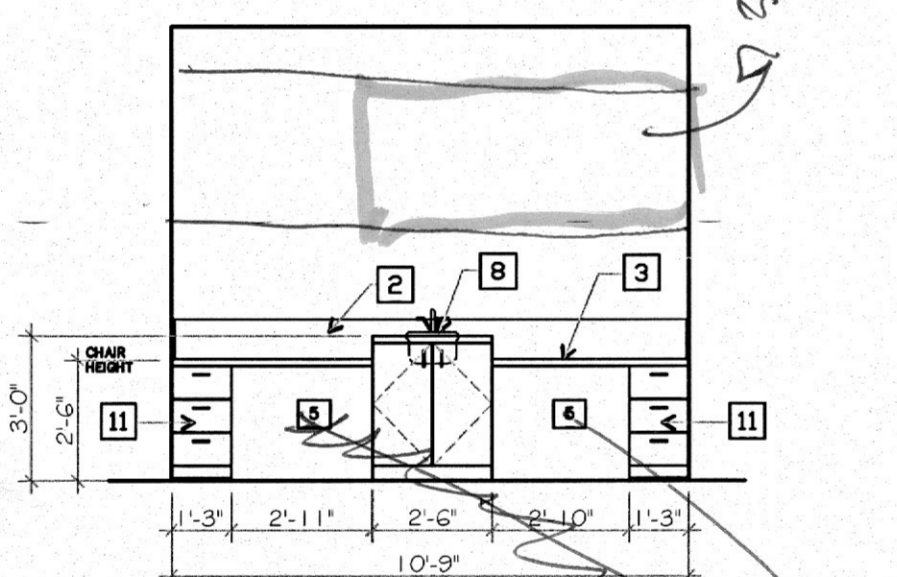
NOTE:  
PROVIDE ALL CASEWORK AS AN  
ADD ALTERNATE TO THE BASE BID.  
  
EXCLUDE RECEPTION #101 DESK  
AND TECH DESK #123 FROM BID



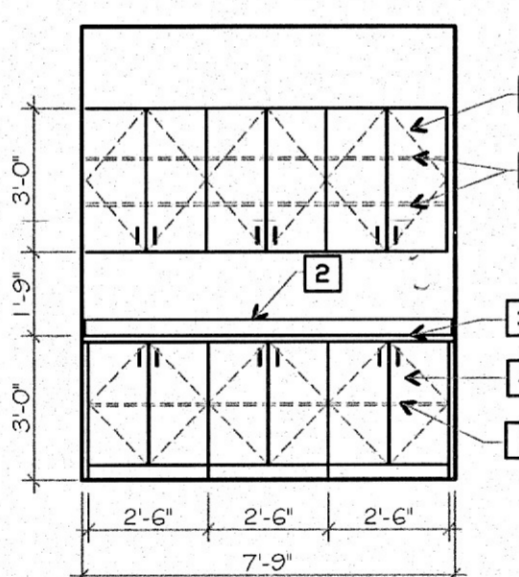
**14 ELEV @ 138**  
1/4" = 1'-0"



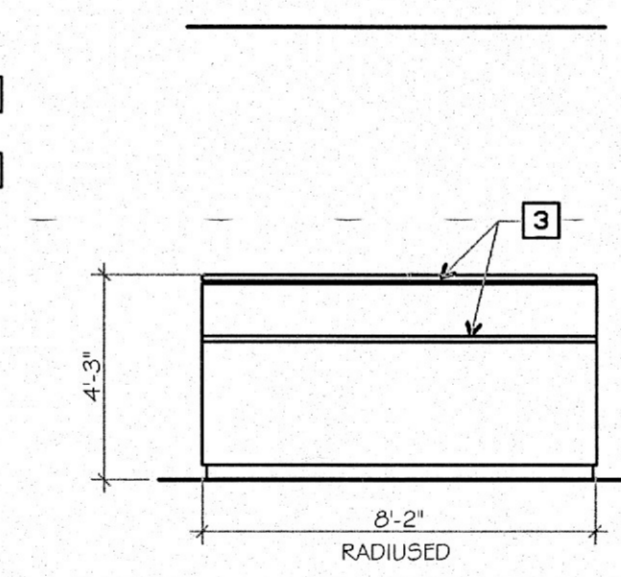
**15 ELEV @ 138**  
1/4" = 1'-0"



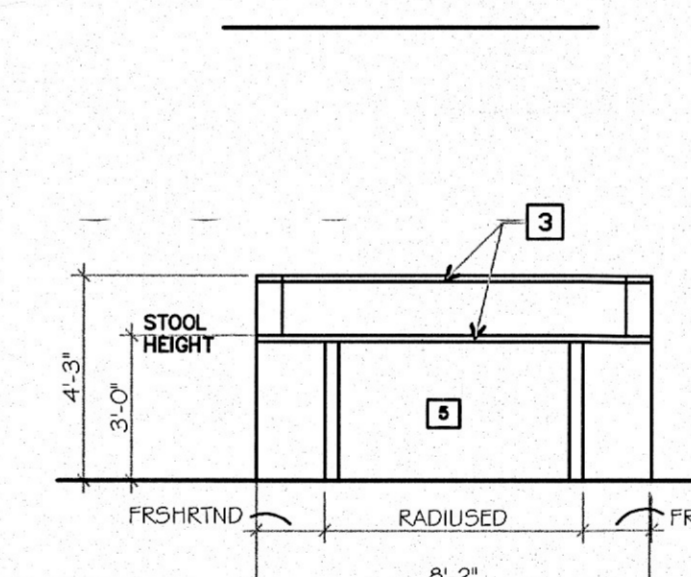
**16 ELEV @ 105**  
1/4" = 1'-0"



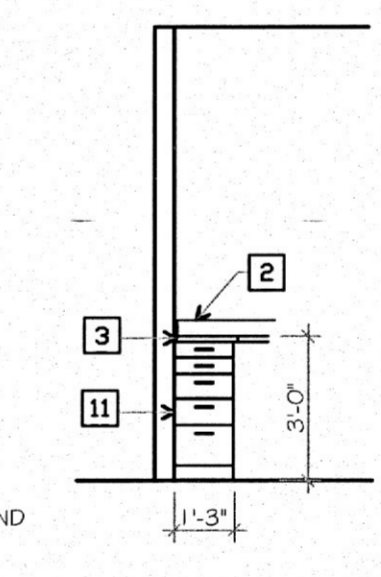
**17 ELEV @ 102**  
1/4" = 1'-0"



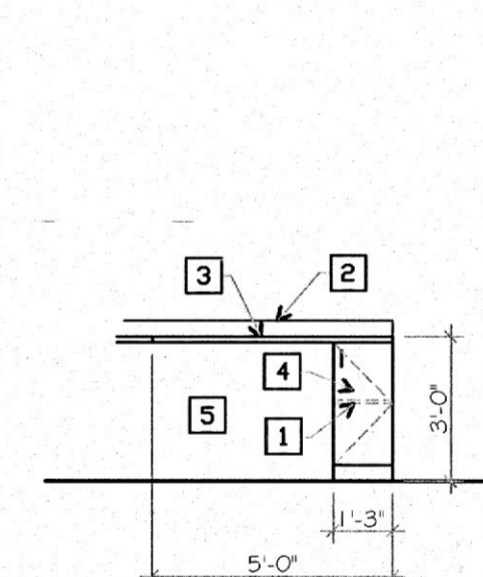
**18 ELEV @ 125**  
1/4" = 1'-0"



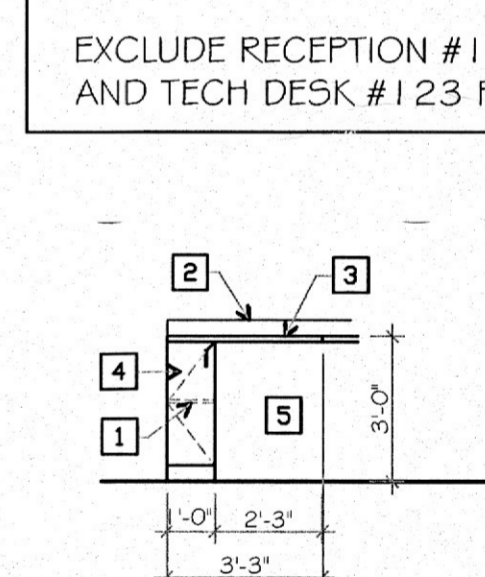
**19 ELEV @ 125**  
1/4" = 1'-0"



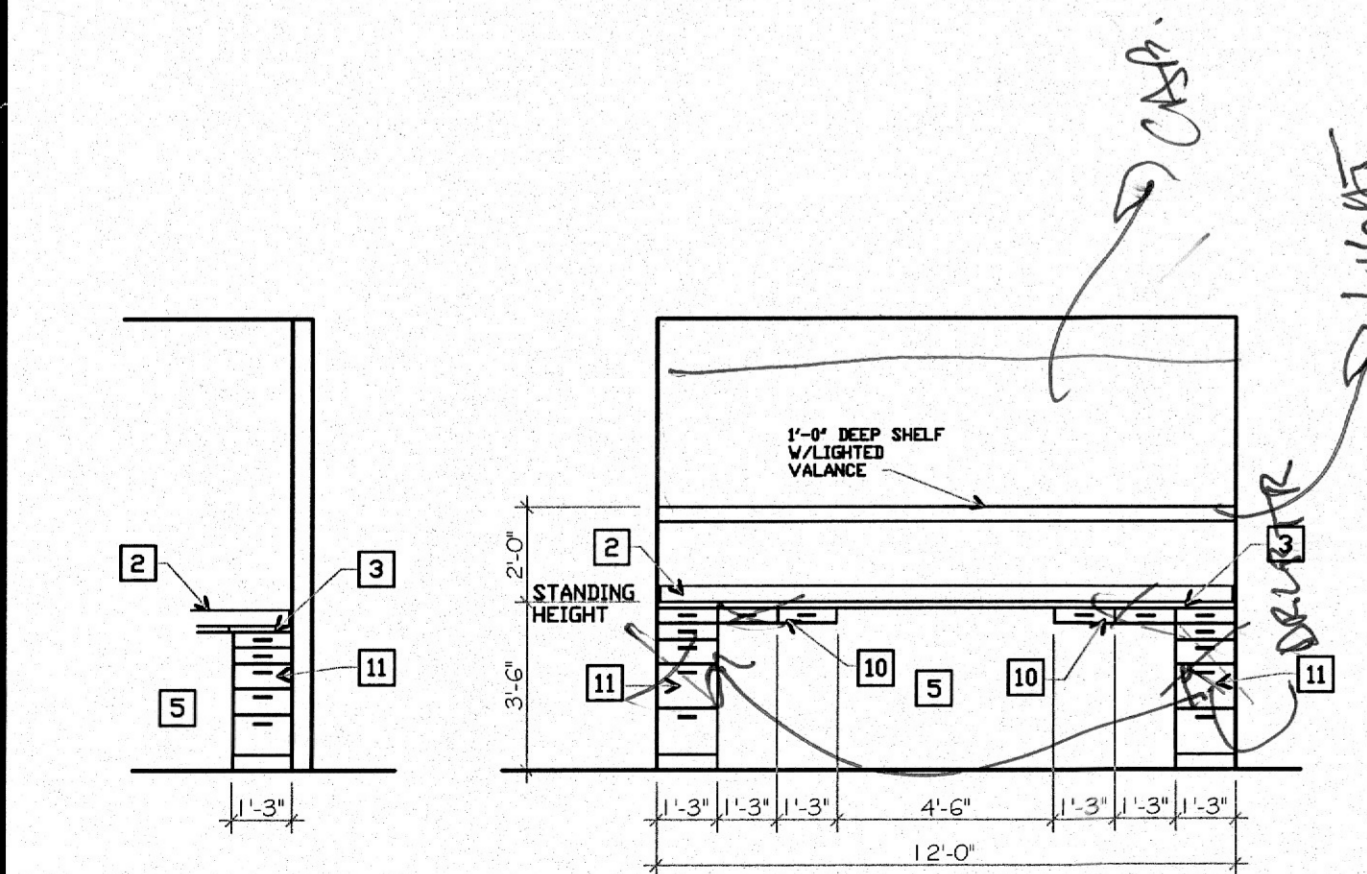
**20 ELEV @ 125**  
1/4" = 1'-0"



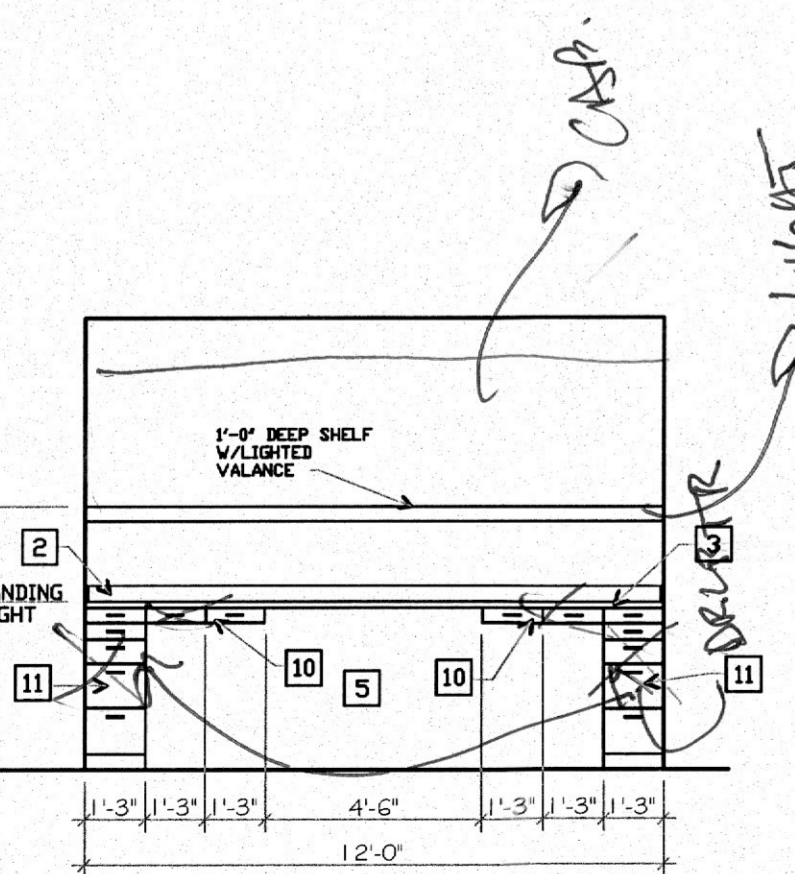
**21 ELEV @ 125**  
1/4" = 1'-0"



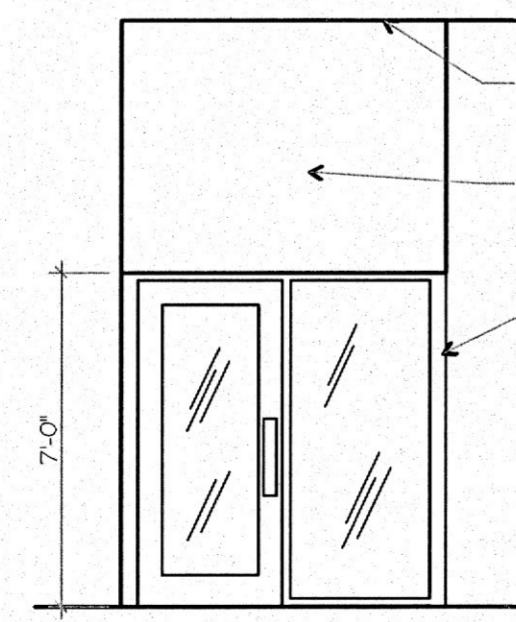
**22 ELEV @ 125**  
1/4" = 1'-0"



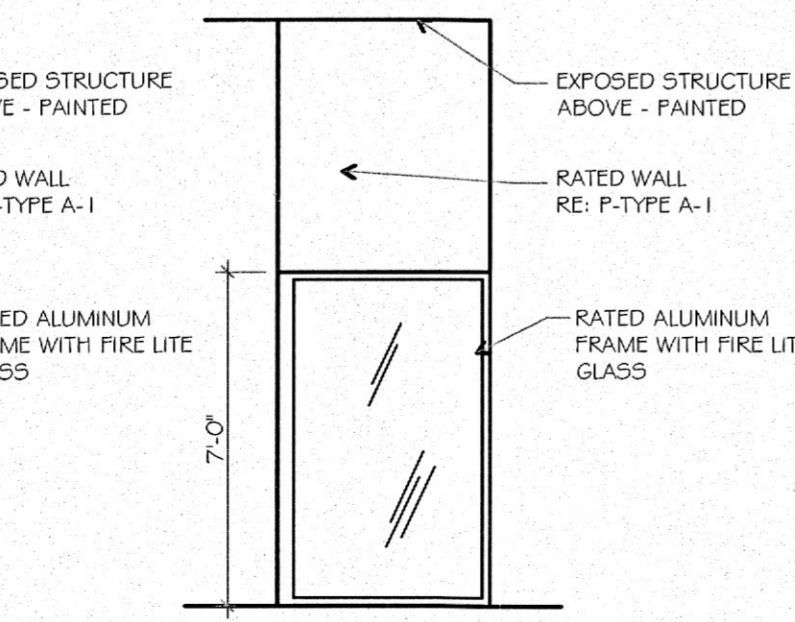
**23 ELEV @ 125**  
1/4" = 1'-0"



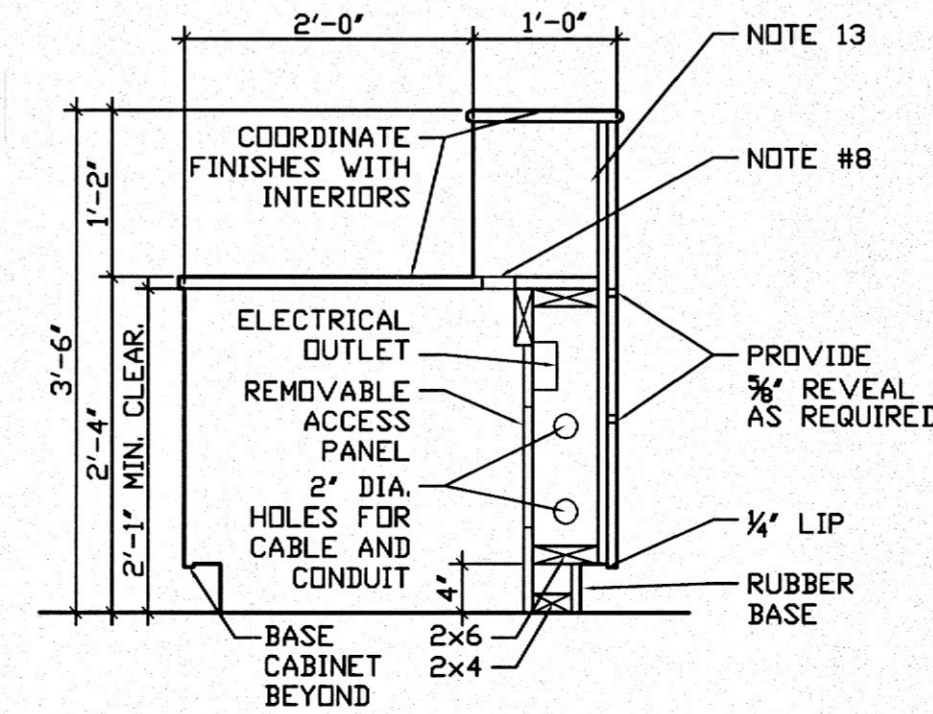
**24 ELEV @ 114**  
1/4" = 1'-0"



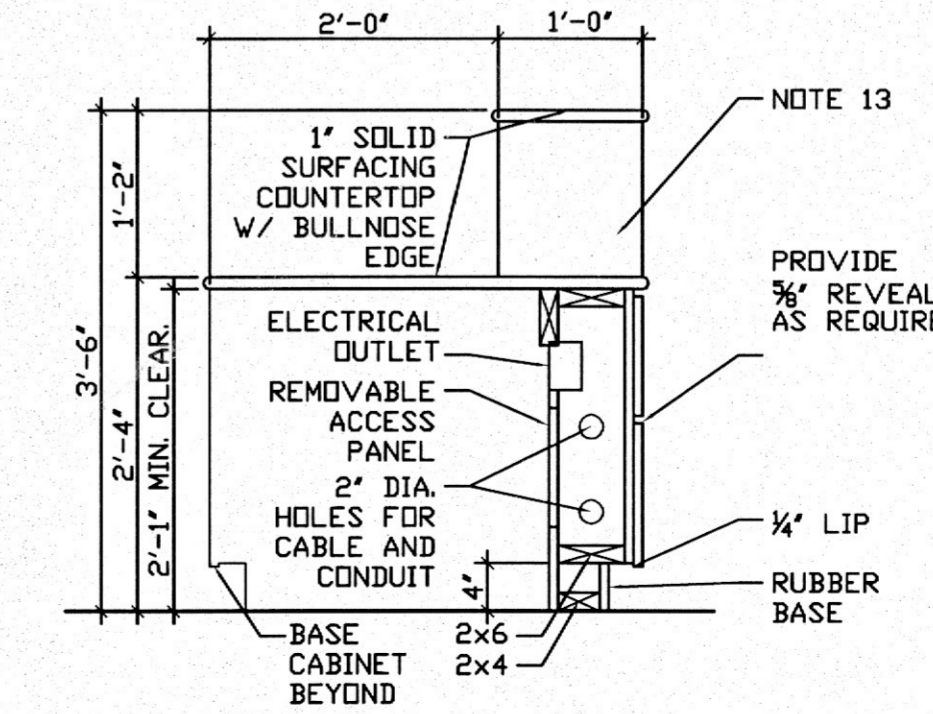
**25 ELEV @ ENTRY**  
1/4" = 1'-0"



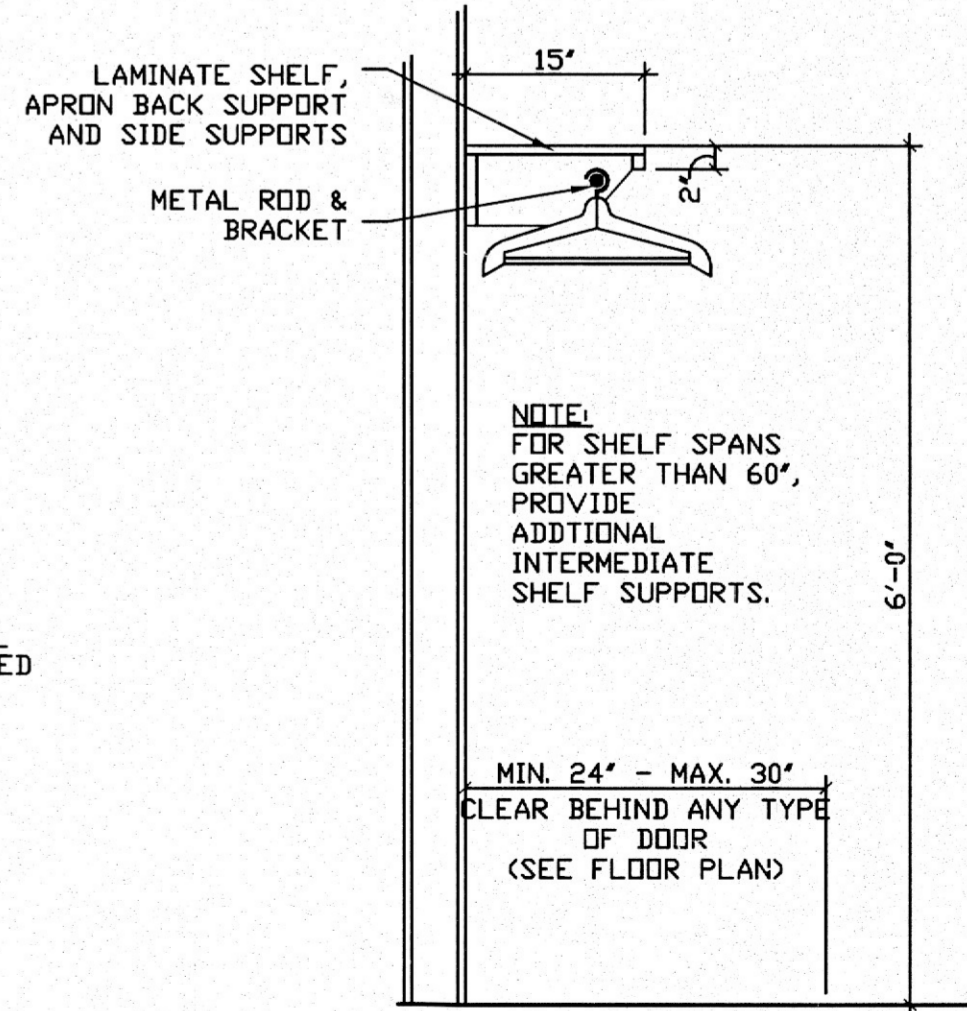
**26 ELEV @ ENTRY**  
1/4" = 1'-0"



**27 SECTION**  
3/4" = 1'-0"



**28 SECTION**  
3/4" = 1'-0"



**29 SECTION**  
3/4" = 1'-0"

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New Office Space for:  
**COMPLETE EYE CARE**  
9890 CLAYTON ROAD  
ST. LOUIS, MO 63124

REVISION DATES  
Revision # 1 11-23-2011

CONSTRUCTION DOCUMENTS

ELEVATIONS

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checked: **A9.2**